

**FINDINGS AND RECOMMENDATION  
OFFICE OF PLANNING AND ZONING  
ANNE ARUNDEL COUNTY, MARYLAND**

**APPLICANTS:** Saar & April Cohen

**ASSESSMENT DISTRICT:** 3rd

**CASE NUMBER:** 2025-0215-V

**COUNCILMANIC DISTRICT:** 3rd

**HEARING DATE:** January 22, 2026

**PREPARED BY:** Donnie Dyott Jr. *DD*  
Planner

**REQUEST**

The applicants are requesting a variance to perfect grading with disturbance to slopes of 15% or greater on property located at 1552 Park Lane in Pasadena.

**LOCATION AND DESCRIPTION OF SITE**

The subject site consists of approximately 1.39 acres of land and is identified as Lot 1AR of Parcel 78 in Block 20 on Tax Map 18 in the Bodkin Plains subdivision. The property is zoned R1 - Residential District and is improved with a single family detached dwelling and associated facilities. This is a waterfront property on Bodkin Creek which lies within the Chesapeake Bay Critical Area and is designated as LDA - Limited Development Area. The site is mapped within a BMA - Buffer Modification Area.

**APPLICANT'S PROPOSAL**

The applicant proposes to perfect slope disturbance that was the result of prior clearing and grading performed by the previous owner.

**REQUESTED VARIANCES**

§ 17-8-201(a) of the Anne Arundel County Subdivision and Development Code states that development in the LDA may not occur within slopes of 15% or greater unless development will facilitate stabilization of the slope; is to allow connection to a public utility; or is to provide direct access to the shoreline. The previous clearing and grading disturbed slopes of 15% or greater, necessitating a variance to this provision. Exact slope disturbance will be determined at the time of permit.

As outlined in the Critical Area team comments, no variances are required to perfect the clearing or the structures (carport and deck/patio).

**AGENCY COMMENTS**

The **Health Department** commented that additional information is needed on the location of the addition and it must be shown on the plan.

The **Development Division (Critical Area Team)** commented that this is a complicated request involving an outstanding clearing, grading and building violation on the property. In 2020, the prior property owner was cited for the clearing of woody vegetation in the buffer as well as the construction of an enclosed carport and new deck/patio without the proper permits. A grading permit was submitted in 2022 to perfect the violation and the reviewer required a variance to address the steep slope disturbance that had occurred as part of the violation. It has been determined that neither the carport or deck/patio require variance approval. Although clearing in the buffer would have required a variance had permits been applied for appropriately, a variance is not required to perfect the clearing as that would allow the clearing to remain. For this reason, the clearing remains a violation and will be mitigated as such with the permit application in order to restore the buffer to its original vegetated condition. As for the slope disturbance, a variance will be processed to allow the changes to the existing grades to remain. These areas will be restored to a vegetated condition and will be mitigated at a rate appropriate for the variance as well as violation with the associated permits.

This Office has no objection to this approval as the denial of this variance would require the applicant to regrade the already disturbed area. Approval of this application will allow the applicant to restore the buffer and slope area to a vegetated stable condition, re-establishing the habitat areas on site.

The **Critical Area Commission** commented that including the primary dwelling improvements, lot coverage on the property is within the amount allowed for a property of this size. A violation was issued for this property in July 2025 for the unpermitted construction of the dwelling improvements as well as for additional unpermitted clearing and grading in the 100-foot Buffer. Approximately 3,655 square feet of canopy was removed without permits. In order to grant this variance, the Administrative Hearing Officer must find the request meets each and every one of the variance standards under COMAR 27.01.12. Please note that mitigation for the violation is required at a ratio of 4:1 for the limit of disturbance, plus an additional 1:1 for the area of forest and developed woodland cleared. Should this after-the-fact variance be granted, additional mitigation for this variance is required at a ratio of 3:1 for the limit of disturbance for the carport, deck, and patio.

The **Department of Inspections and Permits (Engineering Division)** did not take a position on the request but provided comments related to the site plan which are included in full as part of the County exhibits.

## **FINDINGS**

The existing lot coverage of 6,821 square feet will remain unchanged and appears to be within the allowable limit in the LDA. Exact lot coverage calculations will be determined at the time of permit. The property is currently the subject of two open violations under case numbers E-2020-711 and B-2024-707 for the previously completed clearing, slope disturbance and construction of the additions.

For the granting of a critical area variance, a determination must be made on the following:

Because of certain unique physical conditions, such as exceptional topographical conditions peculiar to and inherent in the particular lot or irregularity, narrowness, or shallowness of lot size and shape, strict implementation of the County's critical area program would result in an unwarranted hardship or practical difficulty. In this case the previous owner graded and cleared vegetation which resulted in the disturbance of steep slopes on the site. The current owner did not participate in or have initial knowledge of these actions but must now address these existing conditions. As such, some relief is warranted to allow the current owner to avoid practical difficulties.

A literal interpretation of the County's critical area program may deprive the applicants of rights that are commonly enjoyed by other properties in similar areas by denying the applicants the right to correct actions of a previous owner that the current owners had no opportunity to prevent. The granting of the variance will not confer on the applicants a special privilege that would be denied by COMAR, Title 27. This request is not a result of actions by the applicants and does not arise from any condition relating to land or building use on any neighboring property. With property mitigation there is no evidence that the granting of the variance will adversely affect water quality or impact fish, wildlife or plant habitat and the proposal is in harmony with the general spirit and intent of the County's critical area program. The applicants have overcome the presumption that the specific development does not conform to the general purpose and intent of the critical area law and have evaluated site planning alternatives.

With regard to the requirements for all variances:

The variance as proposed is considered the minimum necessary to afford relief by this Office. As stated in the Critical Area team comments, denial of the variance would require the applicants to regrade the already disturbed area while approval will allow the applicants to restore the buffer and slope area to a vegetated stable condition. There is no evidence that the proposed additions will alter the essential character of the neighborhood, impair the use or development of adjacent property or be detrimental to the public welfare. With mitigation the proposal will not reduce forest cover in the LDA and will not be contrary to acceptable clearing and replanting practices.

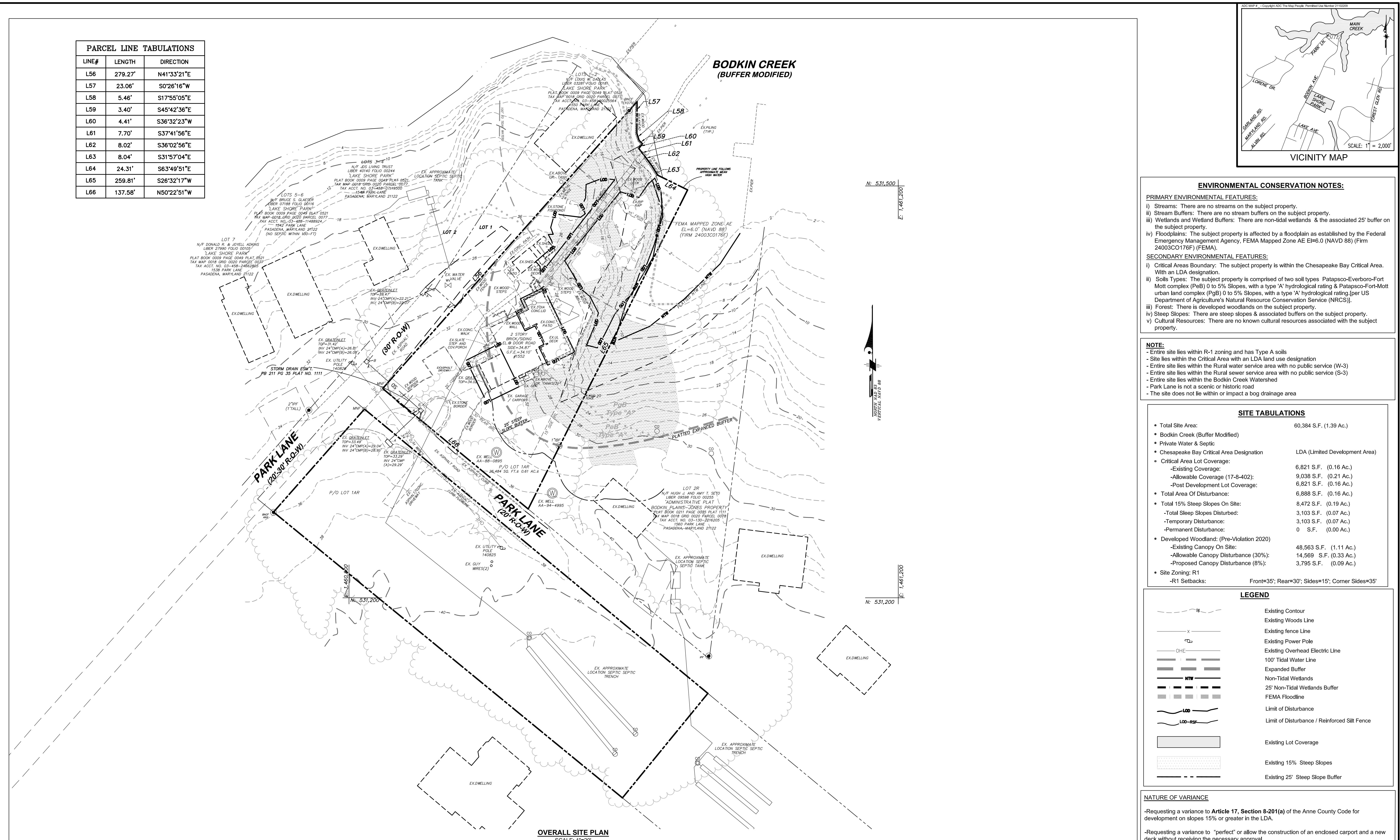
### **RECOMMENDATION**

Based upon the standards set forth in § 18-16-305 under which a variance may be granted, this Office recommends approval of the variance to perfect the slope disturbance as shown on the site plan.

*Should the variance be granted the approval shall be conditioned on the applicant completing the following within 90 days of the date of the decision:*

- (i) obtain an approved mitigation or restoration plan;*
- (ii) complete the abatement measures in accordance with the County critical area program;*
- (iii) paying any civil fines assessed and finally adjudicated*

DISCLAIMER: This recommendation does not constitute a building permit. In order for the applicant(s) to construct the structure(s) as proposed, the applicant(s) shall apply for and obtain the necessary building permits and obtain any other approvals required to perform the work described herein. This includes but is not limited to verifying the legal status of the lot, resolving adequacy of public facilities, and demonstrating compliance with environmental site design criteria.



The logo for Drum, Loyka & Associates, LLC. It features a graphic on the left consisting of three horizontal, wavy bands of varying shades of gray. To the right of the graphic, the company name 'Drum, Loyka & Associates, LLC' is written in a large, bold, black serif font. Below the company name, the text 'CIVIL ENGINEERS - LAND SURVEYORS' is written in a smaller, bold, black sans-serif font.

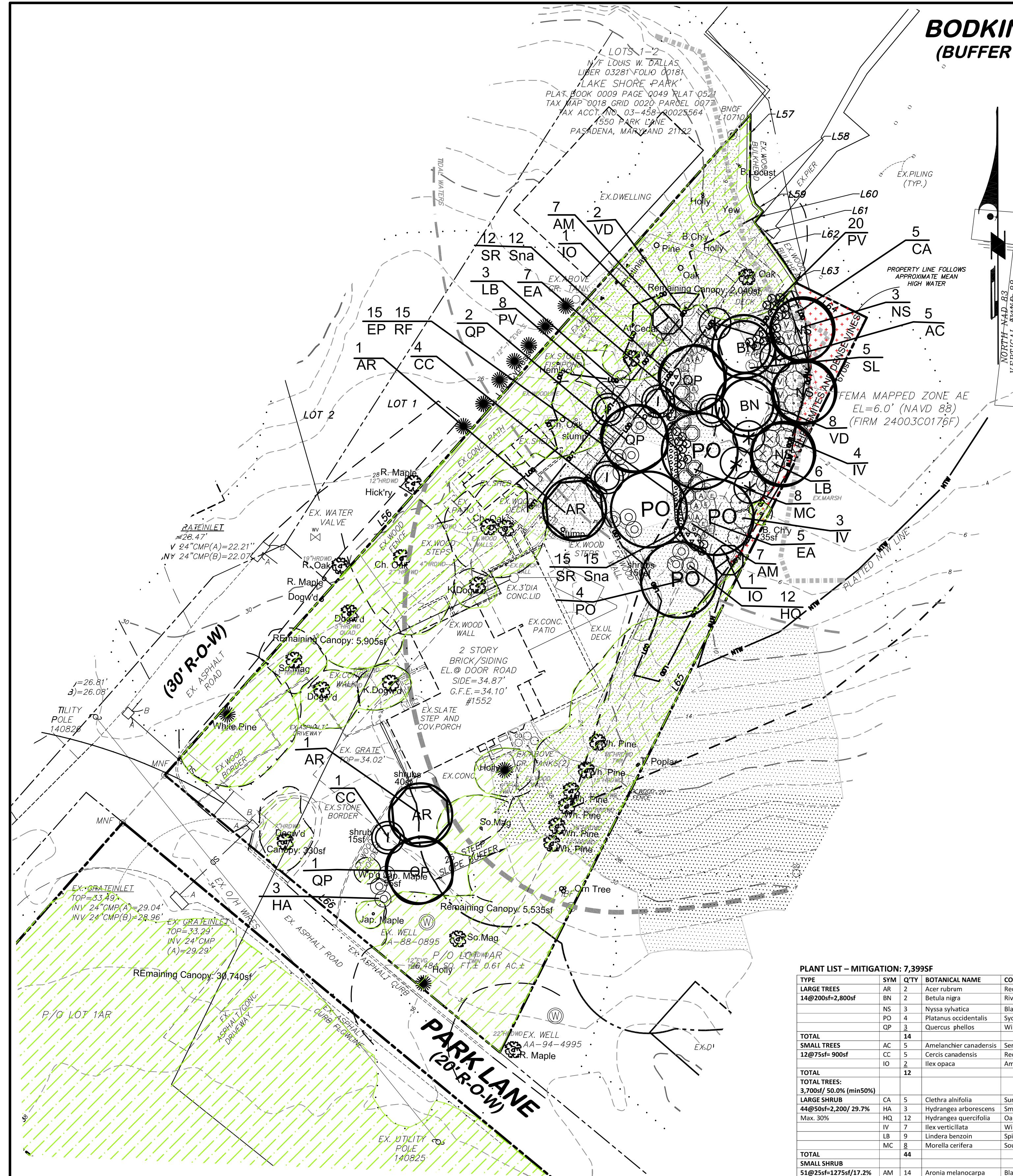
"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, license no. \_\_\_\_\_, expiration date: \_\_\_\_\_ "

CLIENT  
SAAR & APRIL COHEN  
1552 PARK LANE  
PASADENA, MARYLAND 21122  
502-340-8998  
SAARCOHEN202@GMAIL.COM

**VARIANCE SITE PLAN  
VARIANCE PLAN  
DKIN PLAINS ~ LOT 1AR**

52 PARK LANE, PASADENA, MARYLAND 21122  
TAX ACCT. NO. 03-130-12787600  
GRID 20 PARCEL 78 DISTRICT 3RD  
ANNE ARUNDEL COUNTY, MARYLAND

E: 1"=30' DATE: 10/9/2025 PROJ. NO: BC11025 SHEET 1 OF 3



# CRITICAL AREA BUFFER MANAGEMENT LANDSCAPE PLAN

SCALE: 1" = 20'



**CIVIL ENGINEERS - LAND SURVEYORS**  
1410 Forest Drive, Suite 35  
Annapolis, Maryland 21403  
Phone: 410-280-3122 • Fax: 410-280-1952  
[www.drumloyka.com](http://www.drumloyka.com)

# **BODKIN CREE (BUFFER MODIFIED)**

## LEGEND

- Existing Contour
- Existing fence Line
- Existing Power Pole
- Existing Overhead Electric Line
- 100' Tidal Water Line
- Expanded Buffer
- Non-Tidal Wetlands
- 25' Non-Tidal Wetlands Buffer
- FEMA Floodline
- Limit of Disturbance
- Limit of Disturbance / Reinforced Silt Fence
- Existing 15% Steep Slopes
- Existing 25' Steep Slope Buffer
- Pre-Violation canopy area removed
- Canopy area remaining



# TREE CANOPY EXHIBIT (PRE-VIOLATION)

SCALE: 1" = 40'

GENERAL PLAN NOTES

**GENERAL TREE NOTES:**

1. Existing tree information is approximate.
2. No contraction activities are proposed. No tree preservation devices are required.
3. These plans are to be used for Landscape purposes only. See Sheet L2 for Notes & Details. See Site Plans by Drum Loyka, Associates, LLC for all other site information.

PLANT LIST – MITIGATION: 7,399SF							
TYPE	SYM	Q'TY	BOTANICAL NAME	COMMON NAME	MIN. SIZE	ROOT	SP'G o.c.
<b>LARGE TREES</b>	AR	2	<i>Acer rubrum</i>	Red Maple	2" cal	B & B	20'
<b>14@200sf=2,800sf</b>	BN	2	<i>Betula nigra</i>	River birch	2" cal	B & B	20'
	NS	3	<i>Nyssa sylvatica</i>	Black Gum	2" cal	B & B	20'
	PO	4	<i>Platanus occidentalis</i>	Sycamore	2" cal	B & B	25'
	QP	<u>3</u>	<i>Quercus phellos</i>	Willow Oak	2" cal	B & B	20'
<b>TOTAL</b>		<b>14</b>					
<b>SMALL TREES</b>	AC	5	<i>Amelanchier canadensis</i>	Serviceberry	¾" cal	B & B	15'
<b>12@75sf= 900sf</b>	CC	5	<i>Cercis canadensis</i>	Redbud	¾" cal	B & B	15'
	IO	<u>2</u>	<i>Ilex opaca</i>	American Holly			
<b>TOTAL</b>		<b>12</b>					
<b>TOTAL TREES:</b> <b>3,700sf/ 50.0% (min50%)</b>							
<b>LARGE SHRUB</b>	CA	5	<i>Clethra alnifolia</i>	Summersweet	36", 1 gal	Cont	4'6"
<b>44@50sf=2,200/ 29.7%</b>	HA	3	<i>Hydrangea arborescens</i>	Smooth Hydrangea	36", 1 gal	Cont	4'
Max. 30%	HQ	12	<i>Hydrangea quercifolia</i>	Oakleaf Hydrangea	36", 1 gal	Cont	5'
	IV	7	<i>Ilex verticillata</i>	Winterberry	36", 1 gal	Cont.	6'
	LB	9	<i>Lindera benzoin</i>	Spicebush	36", 1 gal	Cont.	6'
	MC	<u>8</u>	<i>Morella cerifera</i>	Southern Waxmyrtle	36", 1 gal	Cont.	6'
<b>TOTAL</b>		<b>44</b>					
<b>SMALL SHRUB</b>							
<b>51@25sf=1275sf/17.2%</b>	AM	14	<i>Aronia melanocarpa</i>	Black Chokeberry	18", 1 gal	Cont.	4'
Max. 20%	EA	12	<i>Euonymus americanus</i>	Strawberrybush	18", 1 gal	Cont.	4'
	SL	5	<i>Spiraea latifolia</i>	MEadowsweet	18", 1 gal	Cont.	4'
	VD	<u>20</u>	<i>Viburnum dentatum</i>	Arrowwood Viburnum	18", 1 gal	Cont.	5'
<b>TOTAL</b>		<b>51</b>					
<b>PERENNIAL/GRASS</b>							
<b>112@ 2sf = 224sf/3.0%</b>	EP	15	<i>Echinacea purpurea</i>	Purple Coneflower	1 gt	Cont	18"
	PV	28	<i>Panicum virgatum</i>	Switch Grass	1 gt	Cont	30"
	RF	15	<i>Rudbeckia fulgida</i>	Black-Eyed-susan	1 gt	Cont	18"
	SR	27	<i>Solidago rugosa</i>	Wrinkleleaf Goldenrod	1 gt	Cont	18"
	San	27	<i>Sympyotrichum novae-angliae</i>	New England Aster	1 gt	Cont	18"
<b>TOTAL:</b>		<b>112</b>					
<b>TOTAL:</b>		<b>233</b>	<b>TOTAL PLANTS</b>				

## **BUFFER MANAGEMENT PLAN APPROVAL**

THIS MAJOR BUFFER MANAGEMENT PLAN HAS BEEN REVIEWED AND APPROVED FOR CONSISTENCY WITH THE LOCAL CRITICAL AREA PROGRAM

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STAFF DATE  
**INSPECTION AGREEMENT**  
APRIL and/or SAAR COHEN, THE OWNERS OF THE SUBJECT PROPERTY,  
DO HEREBY GRANT PERMISSION TO THE APPROVING AUTHORITY TO INSPECT  
THE PLANTINGS AT APPROPRIATE TIMES AT THE ADDRESS PROVIDED BELOW.  
42 PARK DRIVE, PASADENA, MARYLAND 21122  
TAX MAP: 42 GRID: 12 PARCEL: 174 THIRD TAX DISTRICT

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Comar Title 27.01.09.01-3 1 (2)(9)

I understand that I am responsible for the the completion of all proposed activity/work & survival of all plantings shown on this plan.

Owner/Responsible Party	Date
<p><b>EA BUFFER MAN. PLAN</b>  <b>N RESIDENCE</b>  <b>IS PLAIN - LOT 1R</b></p> <p>E, PASADENA, MARYLAND 21122</p> <p>T NO. 03-130-12797600</p> <p>20 PARCEL 78 DISTRICT 3rd</p> <p>EL COUNTY, MARYLAND</p>	
<p>SHEET NO</p> <p>L 1</p>	

PLANTING NOTES- REFORESTATION

GENERAL:

- All planting shall be performed by a Landscape Contractor with a minimum of 5 years experience planting in similar conditions.
- All Planting practices shall conform to 'State Forest Conservation Technical Manual' specifications.
- Planting shall be performed in the periods between March 1 and June 1 or September 15 and November 15.
- All plants shall be full-formed, with a shape consistent with the species and conform to the standards as set forth in the current edition of 'American Nursery Standards'.
- Any substitutions required due to lack of availability must be approved by the Anne Arundel County prior to the commencement of any planting operations.
- All plants shall be certified free of pest and diseases. Supply delivery tickets for all plants to be used to Landscape Architect. Contact Landscape Architect a minimum of 7 working days prior to planting. All plant material to be inspected prior to planting. Any plant material rejected shall be removed from site and replaced by the contractor at no additional cost.
- All plants shall be nursery grown. No field collected plants may be used.
- All container & "deep root" or tubing-grown stock shall be firmly rooted in. Ball and burlap or wire basket material shall have a firmly attached root ball.
- Plants as shown on plan over entire planting area prior to digging. Avoid disturbance of existing tree roots and field adjust plant locations as necessary to avoid conflicts.
- All plants shall be watered during storage and protected from drying winds and shaded to prevent sunscald.
- Plant according to Details this sheet and in accordance with the above-mentioned State Forest Conservation Technical Manual.
- Provide 'REPEL-X' tablets, or equivalent, and slow-release low phosphorus fertilizer in each planting pit in accordance with manufacturers' specifications.
- All water for initial planting and subsequent maintenance period shall be provided by Contractor.
- Site shall be left free of any excess material or debris after planting operations are completed. Any disturbances to soils surfaces shall be repaired and mulched.
- Any surfaces damaged by Contractor shall be repaired as necessary and to the satisfaction of the Owner/Developer.
- The Contractor is responsible for repairing or replacing any property damaged by the Contractors operations. Repairs shall take place in a timely fashion and to the satisfaction of the Client / Developer.

CONTAINER AND B&B:

- Fill planting pit to about 2/3rds full with prepared planting soil and compost, (where required). Tamp firmly and water thoroughly.
- After filling planting pit to final grade, water thoroughly, then install a minimum 2" depth and maximum 3inch depth of aged, shredded hardwood bark mulch. See Details.

WARRANTY:

- A survival rate of 100% for 2" tree stock, 100% for shrubs & 85% for whips shall be guaranteed by the contractor for a two year period following the completion and acceptance of all planting operations.

MAINTENANCE:

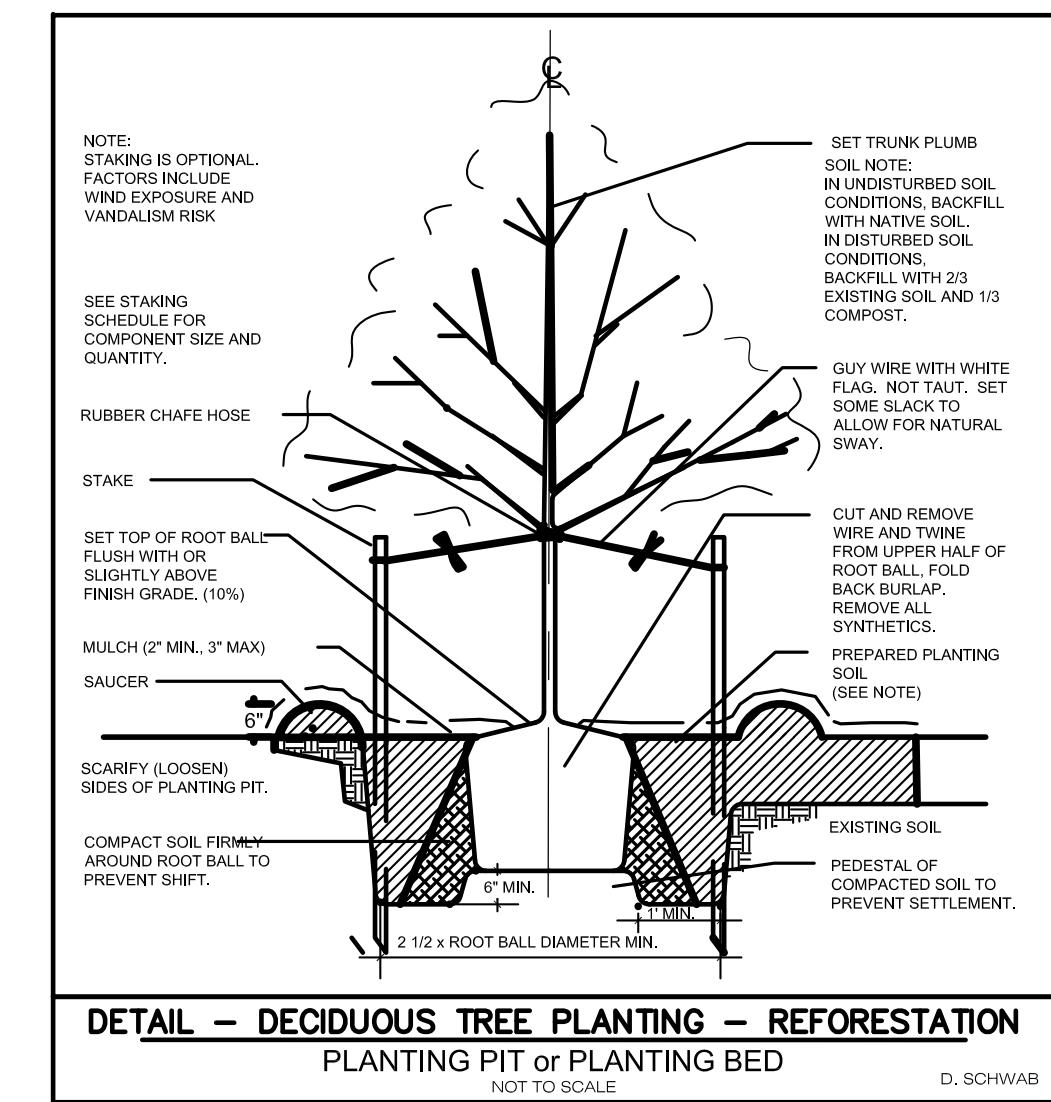
- Contractor is responsible for watering as necessary to ensure survival of plantings.
- Annual inspections shall be scheduled by the Contractor with the Client / Developer to determine condition of plants.
- Invasive vines and weeds shall be removed once annually from plants.
- Plants with 25% of the crown dead shall be considered dead and be replaced in kind.
- Survival rate shall be determined during annual inspections and in-kind replacements made as necessary within 30 days.

MANAGEMENT:

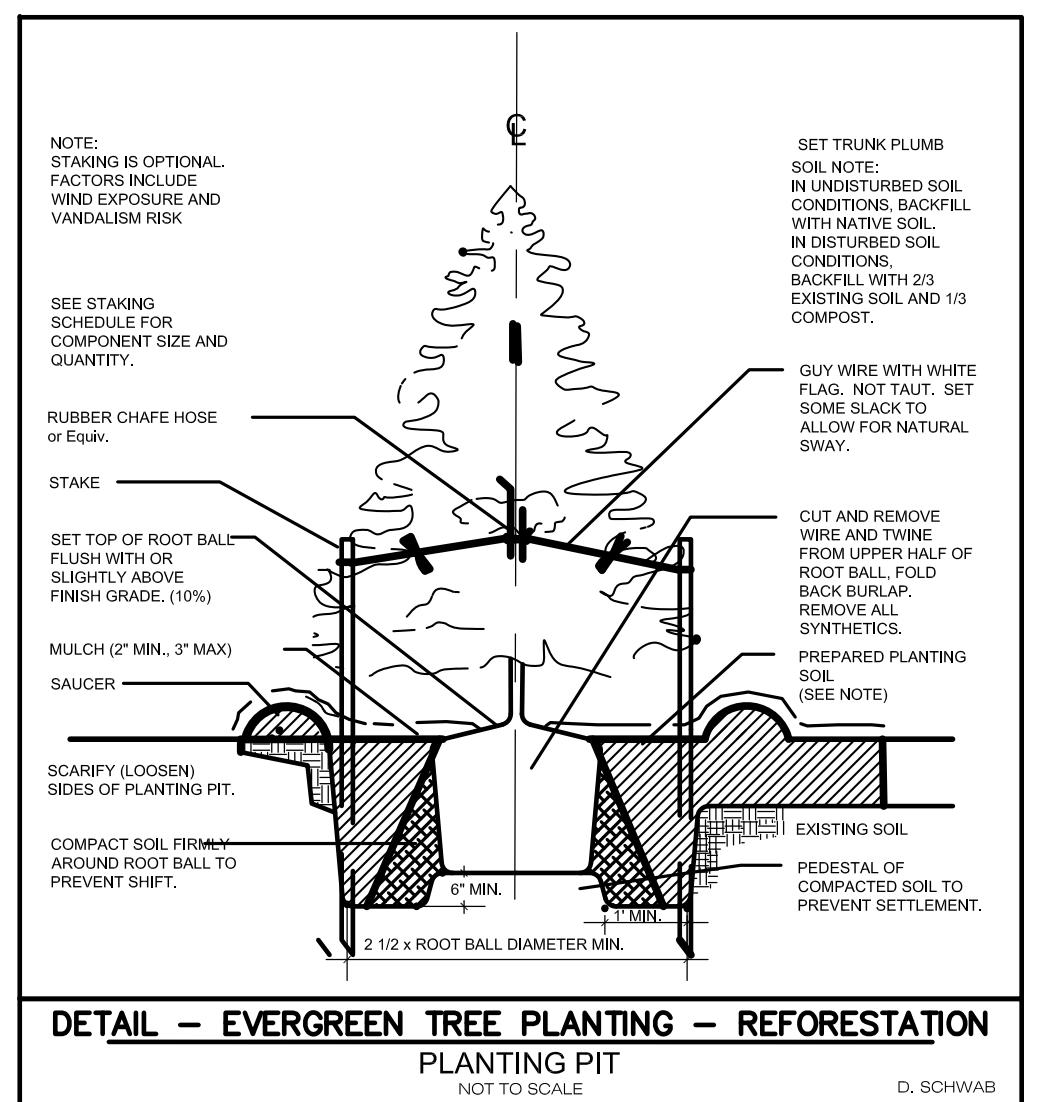
- Install tree shelters or tubes in areas of heavy deer or rabbit populations.
- Control invasive and noxious species using hand methods and leaving the soil surface undisturbed. Vines should not be allowed to grow within the forest conservation area. Mow at a height of 4 -6" once in spring and once in fall for the first three years to aid in this control until the trees have grown to the point of shading the surface.
- Aged, composted, wood chips to a depth of 3" may be placed over the area to aid in control. These shall not be placed over any plant crown or tree flare.
- The reforestation area shall be allowed to regenerate into forest after the area has started to become shaded and the invasive vines are under control, with woody shrubs and sapling trees being allowed to thrive.

IRRIGATION:

- No permanent irrigation system is included in these plans. Temporary irrigation should be provided. This can include, but not be limited to, soaker hose, 'gator' bags or other temporary water infiltration devices. The contractor shall instruct the owner in their use. Maintenance inspections shall be required to ensure that no damage is being caused to the plantings from poorly secured or the deteriorating condition of these devices through the warranty period.



DETAIL - DECIDUOUS TREE PLANTING - REFORESTATION  
PLANTING PIT OR PLANTING BED  
NOT TO SCALE  
D. SCHWAB

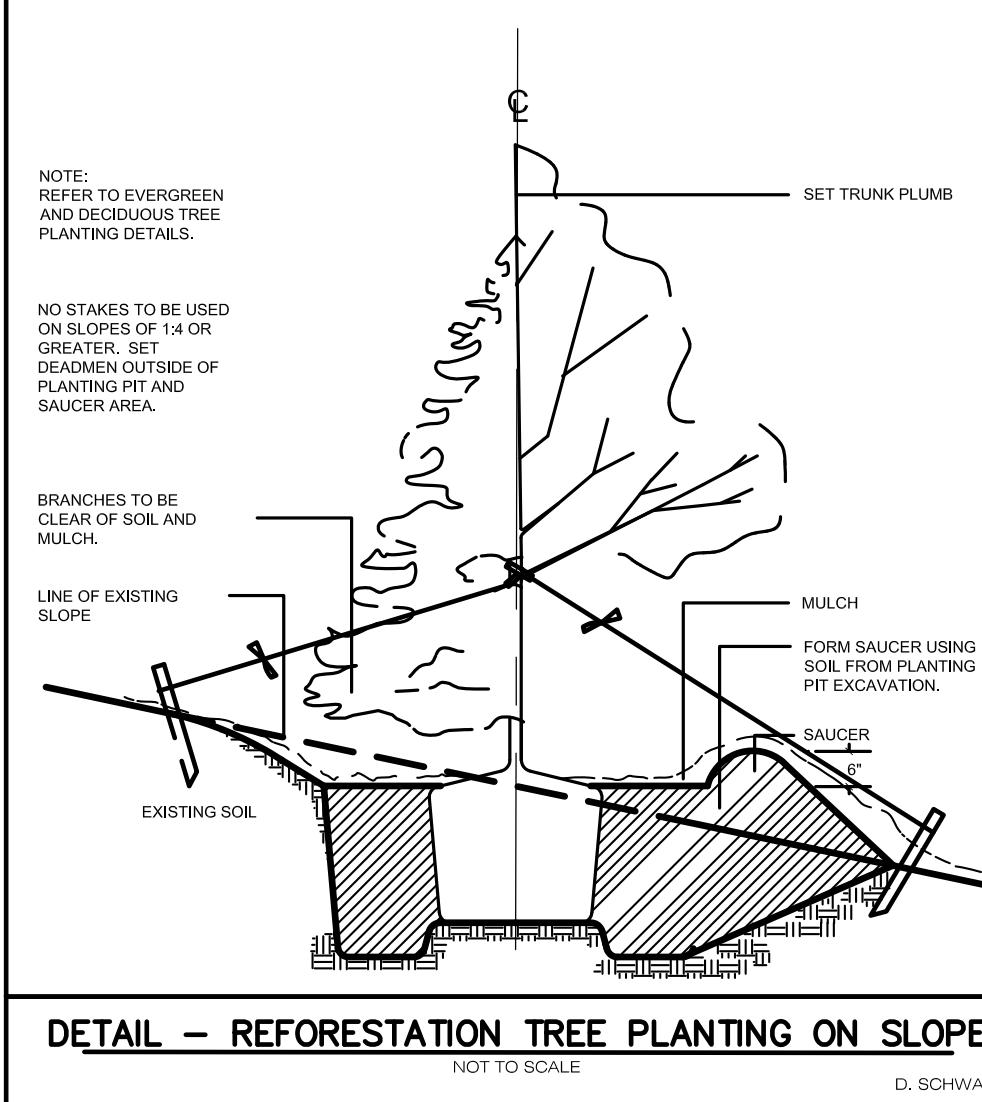


DETAIL - EVERGREEN TREE PLANTING - REFORESTATION  
PLANTING PIT  
NOT TO SCALE  
D. SCHWAB

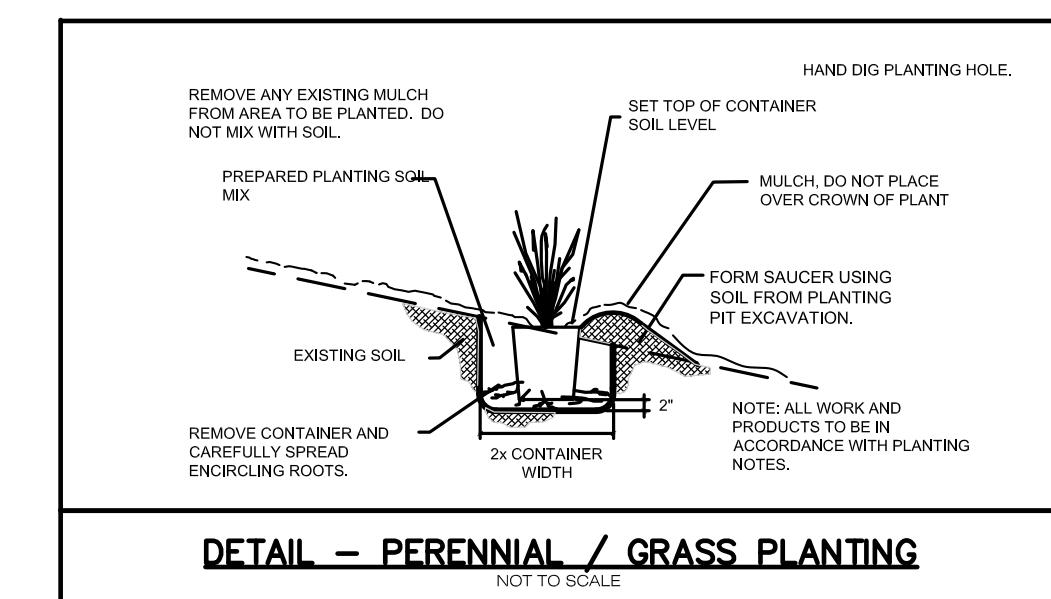
Tree Size	Stake Qty	Stake Size	Wire Size
6'-10' or 1-2" caliper	2	2"x2"x6' min.	14 gauge
10'-12' or 2-2 1/2" caliper	2	2"x2"x8' min.	14 gauge
12'-16' or 2 1/2"-4" caliper	3	deadmen	24" min. 12 gauge
16'-20' or 4-6" caliper	3	deadmen	30" min. 14 gauge
over 20' or over 6" caliper	3	deadmen	30" min. 3/8" with turnbuckles

TREE STAKING SCHEDULE

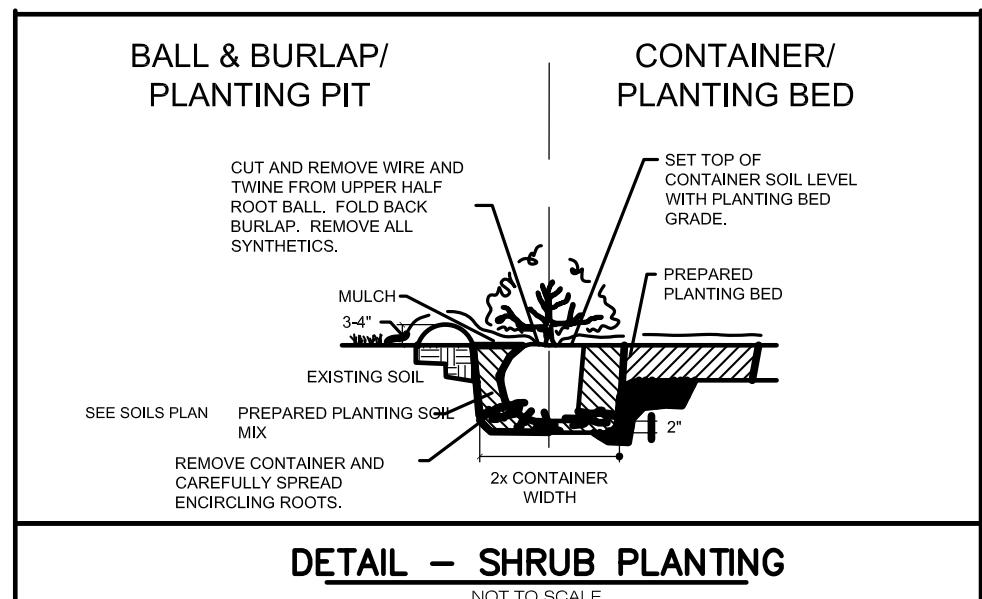
NOTE: REFER TO EVERGREEN AND DECIDUOUS TREE PLANTING DETAILS.  
NO STAKES TO BE USED ON SLOPES OF 1/4 OR GREATER. USE DEADMEN OUTSIDE OF PLANTING PIT AND SAUCER AREA.  
BRANCHES TO BE CLEAR OF SOIL AND MULCH.  
LINE OF EXISTING SLOPE  
EXISTING SOIL  
MULCH  
FORM SAUCER USING SOIL FROM PLANTING PIT EXCAVATION.  
SAUCER



DETAIL - REFORESTATION TREE PLANTING ON SLOPE  
NOT TO SCALE  
D. SCHWAB



DETAIL - PERENNIAL / GRASS PLANTING  
NOT TO SCALE



DETAIL - BALL & BURLAP/ PLANTING PIT  
NOT TO SCALE

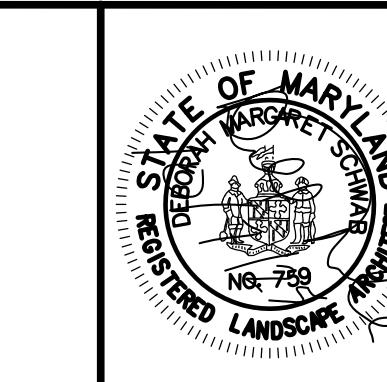
DETAIL - SHRUB PLANTING  
NOT TO SCALE

GENERAL NOTES:

- Check location of all underground utilities. Call "MISS UTILITY" at 1-800-257-7777 at least 5 days prior to any excavation.
- Contractor is required to carry any/all Workman's Compensation and other liability insurances as required by the General Contractor / Owner.
- Contractor is required to comply with any/all codes, regulations and ordinances that apply to the work performed on this project.
- Contractor shall co-ordinate the execution of all work performed with the General Contractor / Owner and shall complete all work in a timely fashion.
- General Contractor / Owner is responsible for obtaining site permits and paying applicable fees unless otherwise specified.
- All clearing, grubbing, rough and fine grading, installation and maintenance of erosion control devices, sodding and seeding are separate operations and not included in this Landscape Plan. Except as specifically stated or in areas to be landscaped, all disturbed areas shall be sodded or seeded per Grading or Erosion Control Plan by others.
- These plans are to be used for landscape purposes only.
- If stockpile areas are required on-site, locations will be designated by the General Contractor / Owner.

NO.	REVISIONS	BY	DATE

DEBORAH SCHWAB  
LANDSCAPE ARCHITECTURE  
409 Washington Street  
Annapolis, MD 21403  
PH: 410 268 5291 Email: dschwab@comcast.net



Drum, Loyka & Associates, LLC  
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Phone: 410-280-3122 Fax: 410-280-1952  
www.drumloyka.com

OWNER:  
SAAR & APRIL COHEN  
1552 PARK LANE  
PASADENA, MD 21122  
DATE: OCTOBER, 2025  
SCALE: SHOWN  
DRAWN BY: ds  
CHECKED BY: DMS  
JOB NO: 2025-031(DMS)

CRITICAL AREA BUFFER MAN. PLAN  
COHEN RESIDENCE  
BODKINS PLAIN - LOT 1R  
1552 PARK LANE, PASADENA, MARYLAND 21122  
TAX ACCOUNT NO. 03-130-12797600  
TAX MAP 18 GRID 20 PARCEL 78 DISTRICT 3rd  
ANNE ARUNDEL COUNTY, MARYLAND

SHEET NO  
L2  
SHEET 1 OF 2

October 15, 2025 (Rev. 10/24/25)

Mr. Donnie Dyott  
Office of Planning and Zoning  
2664 Riva Road, 3<sup>rd</sup> Floor  
Annapolis, MD 21401

**Re: Bodkin Plains Lot 1AR**  
**Variance Application submittal**  
1552 Park Lane Pasadena, MD. 21122  
Tax Map 18, Grid 20, Parcel 78  
Violation #'s (**B-2024-707/E-2020-711**)

Dear Mr. Dyott:

This is a formal **Variance Application** submittal to address a violation established October 7<sup>th</sup>, 2020 of grading and clearing of woody vegetation within the initial 100-foot buffer resulting in disturbance of 4,979 sq. ft. as well as construction of an enclosed carport and a new deck without the required construction, grading and sediment control, stormwater management, well and septic, and zoning authorizations required by Article 15, Section 2-101.105.1, Article 16, Section 3-201, Section 4-201, Article 17 and Article 18, respectively for the above referenced property. Based on an initial review via Grading Permit #G02019274 submitted by the previous owner in February, 2022, a variance to **Article 17-8-201(a)** to disturb 15% and greater slopes and a variance to “perfect” or allow the construction of an enclosed carport and a new deck without receiving the necessary approval are necessary. The Grading Permit has since been canceled as the current owner would need to process a new permit under their name. The steep slopes currently existing have been accurately depicted based on recent field run topography. No construction is associated with the specific variance request.

The property is an existing legal building site fronting Bodkin Creek, approximately 600-feet northwest of Bodkin Avenue, is located entirely within the (LDA) Limited Development Area Designation of the Critical Area and is Buffer Modified. The property is 60,384 sq. ft. or 1.39 acres, is zoned R-1 Residential, has an existing well, private septic system to remain, a small area of Non-Tidal Wetlands and the associated 25-foot buffer. A portion of the property is located on the south side of Park Lane where the existing septic system is located. The site includes woody vegetation, a single-family home, detached shed, wood decking, concrete walk, riparian access to the water and a pier to remain.

**Code Article 18-16-305**

**(b) Requirements for Critical Area Variances.**

- (1) Unwarranted Hardship and Practical Difficulty- the previous property owner graded and cleared woody vegetation and disturbed steep slopes of 15% and greater within the initial 100-foot buffer resulting in disturbance of 4,979 sq. ft. The new owner did not participate or have initial knowledge of this violation but must address the existing conditions based on being the new owner of record.

- (2) Deprive the applicant of rights commonly enjoyed by other properties- The current owner was not afforded the opportunity to avoid clearing or disturbing steep slopes and is not proposing any structures associated with this variance request.
- (3) Will not confer special privilege - granting this variance would not confer a special privilege to the applicants. The area of disturbance within the 100-foot buffer will result in establishing a buffer management plan to address 3:1 mitigation and stabilize the disturbance to 15% steep slopes.
- (4) Actions by Applicants and Neighbors- The variance is not based on conditions or circumstances that are the result of actions by the applicants or conditions or use on neighboring properties- conditions and circumstances are based on the fact that the previous owner was in violation prior to selling the property. The new owner must address the existing violations
- (5) Water Quality, Intent of the Critical Area Program. The requested variances will not adversely affect water quality, impact fish, and wildlife or plant habitat and be in harmony with the critical area program as a buffer management plan will be completed to establish plant material within the 100-foot buffer, assisting to stabilize the existing slope condition and address the violation.
- (6) Presumption Sec 8-1808(d)(2)(ii) – The applicants have overcome the presumption that the use for which the variance is requested is not in conformity with the purpose and intent of the Critical Area Program. The existing violation must be addressed prior to moving forward with additional permitting for principal structure improvements covered under a separate violation.

**(c) Requirements for all variances.**

1. Minimum necessary to afford relief - The proposed variances allow for modest uses that not only meets the “significant and reasonable standard” but also are the minimal necessary development to afford relief. Disturbance to the 15% steep slopes and the mitigation plantings required in the same area, is the minimum necessary to re-establish the 100-foot buffer’s vegetation and stabilization of the existing steep slopes.
2. The granting of the variance will not:
  - i. alter the essential character of the neighborhood, and all proposed development will be harmonious with the architectural styles and scale of the surrounding area.
  - ii. substantially impair the appropriate use or development of adjacent properties.
  - iii. reduce forest cover in the LDA. Vegetative clearing will be mitigated appropriately during the permit process with a Buffer Management Plan.
  - iv. be contrary to acceptable clearing or replanting practices required for development of the Critical Area or Bog Protection Area. Clearing was performed by the previous owner, and the property is not located within a Bog Protection Area.
  - v. be detrimental to the public welfare as completion of a buffer management plan will not impose harm to adjacent property owners or the public.

Denial of the requested variances and a strict implementation of the County's Zoning and Critical Area Program would constitute an unwarranted hardship and practical difficulty on the applicant and deprive them of the same rights and privileges others enjoy in the immediate neighborhood along the waterfront side of Bodkin Creek.

Sincerely,

**DRUM, LOYKA AND ASSOCIATES, LLC**

  
Robert Baxter  
Project Manager

Cc: Sarr & April Cohen

After Recording Return to:  
**CLA Title & Escrow**  
**9210 Corporate Boulevard**  
**Suite 150**  
**Rockville, MD 20850**

Anne Arundel Cty Cir Crt  
 IMP FD SURE \$40.00  
 RECORDING FEE \$20.00  
 TR TAX STATE \$2,175.00  
 TOTAL \$2,235.00  
 SAP WO  
 Sep 23, 2024 03:34 pm

Property Address:  
 1552 Park Lane  
 Pasadena, MD 21122  
 Tax ID # **03-130-12787600**

Title Insurance: **Fidelity National Title Insurance Company**

**This Deed**, made this 13th day of September, 2024 by and between **Darla Grese and Shelaine Grese**, parties of the first part, Grantors; and **Saar Cohen and April Cohen**, as tenants by the entirety, parties of the second part, Grantees.

**- Witnesseth -**

**That for and in consideration** of the sum of **EIGHT HUNDRED SEVENTY THOUSAND AND 00/100 DOLLARS (\$870,000.00)**, which includes the amount of any outstanding Mortgage or Deed of Trust, if any, the receipt whereof is hereby acknowledged, the said Grantors do grant and convey to the said Saar Cohen and April Cohen, as tenants by the entirety, their assigns, the survivor of them and the survivor's heirs, personal representatives and assigns, in fee simple, all that lot of ground situate in the County of Anne Arundel, State of Maryland and described as follows, that is to say:

**(SEE ATTACHED EXHIBIT A)**

**SUBJECT TO** any and all covenants, easements, plat restrictions, agreements, and other restrictions of record.

**Together** with the buildings and improvements thereon erected, made or being; and all and every, the rights, alleys, ways, waters, privileges, appurtenances and advantages thereto belonging, or in anywise appertaining.

**To Have and To Hold** the said tract of ground and premises above described and mentioned, and hereby intended to be conveyed, together with the rights, privileges, appurtenances and advantages thereto belonging or appertaining unto and to the proper use and benefit of the said Saar Cohen and April Cohen, as tenants by the entirety, their assigns, the survivor of them and the survivor's heirs, personal representatives and assigns, in fee simple.

**And** the said parties of the first part hereby covenant that they have not done or suffered to be done any act, matter or thing whatsoever, to encumber the property hereby conveyed; that they will warrant specially the property hereby granted; and that they will execute such further assurances of the same as may be requisite.

Semi-Annual Payments  
 09-23-2024 LO

ACCT. 03-130-12787600  
 ALL REQUIRED LIENS ARE PAID  
 AS OF 09-23-2024 A.A. COUNTY  
 BY: LO

File No MD-24-24150

Anne Arundel Cty Finance Office  
 County Transfer Tax \$8,700.00  
 County Recordation Tax \$6,090.00  
 09/23/2024 11:44 AM LO

Page 1 of 4

As Witness the hands and seals of said Grantors, the day and year first above written.

Darla Grese (SEAL)

STATE OF VIRGINIA  
COUNTY OF CULPEPER, to wit:

I hereby certify that on the 12th day of September, 2024, before me, the subscriber, a Notary Public of the State of VIRGINIA, in and for the County aforesaid, personally appeared Darla Grese, known to me or satisfactorily proven to be the person whose name is subscribed to the within instrument and made oath in due form of law that the matters and facts set forth herein are true.

As witness, my hand and notarial seal.

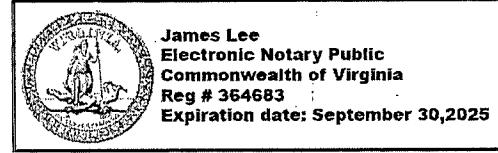
James Lee



---

**Signature of Notary Public**

My Commission Expires: **09/30/2025**



Online Notary Public. This notarial act involved the use of online audio/video communication technology. Notarization facilitated by SIGNiX®

*Shelaine Grese*

Shelaine Grese



STATE OF VIRGINIA  
COUNTY OF FAIRFAX, to wit:

I hereby certify that on the 12th day of September, 2024, before me, the subscriber, a Notary Public of the State of VIRGINIA, in and for the County aforesaid, personally appeared Shelaine Grese, known to me or satisfactorily proven to be the person whose name is subscribed to the within instrument and made oath in due form of law that the matters and facts set forth herein are true.

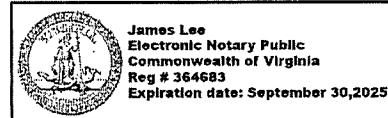
As witness, my hand and notarial seal.

*James Lee*



Signature of Notary Public

My Commission Expires: **09/30/2025**



Online Notary Public. This notarial act involved the use of  
online audio/video communication technology. Notarization  
facilitated by SIGNIX®

THIS IS TO CERTIFY that the within Deed was prepared by, or under the supervision of the undersigned, an Attorney duly admitted to practice before the Court of Appeals of Maryland.

*(SEAL)*

Joel L. Steinberg, Esq.

**EXHIBIT A**

ALL that certain lot, parcel or tract of land, situate and lying in the County of Anne Arundel, State of Maryland, and being more particularly described as follows:

Being known and designated as Lot No. 1AR, a Subdivision of BODKINS PLAINS, as the same is shown on the Plat of a Subdivision of Bodkin Plains, which said Plat is recorded among the Plat Records of Anne Arundel County in Plat Book No. 211, page 35.

**FOR INFORMATIONAL PURPOSES ONLY:**

Property Address: 1552 Park Lane, Pasadena, MD 21122

Tax ID: 03-130-12787600

Being the same property which by deed dated July 27, 2020, and recorded among the Land Records of Anne Arundel County, Maryland on August 3, 2020, in Liber 34984, in Folio 174, was granted and conveyed by James L. Leef and Mary F. Leef unto Darla Grese and Shelaine Grese, as Tenants by the Entirety.

**Maryland  
FORM  
WH-AR**

**Certification of Exemption from Withholding Upon  
Disposition of Maryland Real Estate Affidavit of  
Residence or Principal Residence**

**2024**

Based on the certification below, Transferor claims exemption from the tax withholding requirements of §10-912 of the Tax-General Article, Annotated Code of Maryland. Section 10-912 provides that certain tax payments must be withheld and paid when a deed or other instrument that effects a change

in ownership of real property is presented for recordation. The requirements of §10-912 do not apply when a transferor provides a certification of Maryland residence or certification that the transferred property is the transferor's principal residence.

**1. Transferor Information**

Name of Transferor Shelaine Grese

**2. Description of Property** (Street address. If no address is available, include county, district, subdistrict and lot numbers).

1552 Park Lane, Pasadena, MD 21122

**3. Reasons for Exemption**

**Resident Status**



As of the date this form is signed, I, Transferor, am a resident of the State of Maryland.



Transferor is a resident entity as defined in Code of Maryland Regulations (COMAR)03.04.12.02B(11), I am an agent of Transferor, and I have authority to sign this document on Transferor's behalf.

**Principal Residence**



Although I am no longer a resident of the State of Maryland, the Property is my principal residence as defined in IRC 121 (principal residence for 2 (two) of the last 5 (five) years) and is currently recorded as such with the State Department of Assessments and Taxation.

**Under penalty of perjury, I certify that I have examined this declaration and that, to the best of my knowledge, it is true, correct, and complete.**

**3a. Individual Transferors**

James Lee



Witness

09/12/2024 10:33 AM EDT

Shelaine Grese

09/12/2024 10:29 AM EDT



\*\*Date

**3b. Entity Transferors**

Witness/Attest

Name of Entity

By

Name

\*\*Date

Title

\*\* Form must be dated to be valid.

**Note:** Form is only valid if it was executed on the date the Property was transferred and is properly recorded with the Clerk of the Court.

**To the Clerk of the Court:** Only an un-altered Form WH-AR should be considered a valid certification for purposes of Section 10-912.

01/22

**Maryland  
FORM  
WH-AR**

**Certification of Exemption from Withholding Upon  
Disposition of Maryland Real Estate Affidavit of  
Residence or Principal Residence**

**2024**

Based on the certification below, Transferor claims exemption from the tax withholding requirements of §10-912 of the Tax-General Article, Annotated Code of Maryland. Section 10-912 provides that certain tax payments must be withheld and paid when a deed or other instrument that effects a change

in ownership of real property is presented for recordation. The requirements of §10-912 do not apply when a transferor provides a certification of Maryland residence or certification that the transferred property is the transferor's principal residence.

**1. Transferor Information**

Name of Transferor Darla Grese

**2. Description of Property** (Street address. If no address is available, include county, district, subdistrict and lot numbers).

1552 Park Lane, Pasadena, MD 21122

**3. Reasons for Exemption**

**Resident Status**



As of the date this form is signed, I, Transferor, am a resident of the State of Maryland.



Transferor is a resident entity as defined in Code of Maryland Regulations (COMAR)03.04.12.02B(11), I am an agent of Transferor, and I have authority to sign this document on Transferor's behalf.

**Principal Residence**



Although I am no longer a resident of the State of Maryland, the Property is my principal residence as defined in IRC 121 (principal residence for 2 (two) of the last 5 (five) years) and is currently recorded as such with the State Department of Assessments and Taxation.

**Under penalty of perjury, I certify that I have examined this declaration and that, to the best of my knowledge, it is true, correct, and complete.**

**3a. Individual Transferors**

James Lee

Witness

09/12/2024 03:27 PM EDT  
 SIGNED

09/12/2024 03:23 PM EDT

Darla Grese

Name

Darla Grese

Signature



\*\*Date

**3b. Entity Transferors**

Witness/Attest

Name of Entity

By

Name

\*\*Date

Title

\*\* Form must be dated to be valid.

**Note:** Form is only valid if it was executed on the date the Property was transferred and is properly recorded with the Clerk of the Court.

**To the Clerk of the Court:** Only an un-altered Form WH-AR should be considered a valid certification for purposes of Section 10-912.

01/22


**CIRCUIT COURT FOR Anne Arundel County , MARYLAND**

City/County

Located at

Court Address

**AFFIDAVIT OF INTENT TO USE ELECTRONIC SIGNATURE  
(Md. Code, Real Property Title 3, Subtitle 7)**

1. I, Shelaine Grese, am over eighteen years of age and competent to testify.
2. I have signed the document or documents accompanying this affidavit by means of an electronic signature, which is defined in Md. Code, Real Property § 3-701(E) as an "electronic sound, symbol, or process attached to or logically associated with a document and executed or adopted with the intent to sign the document."
3. I have done so with the intent to sign the document.
4. My use of the electronic signature was not done for any illegal or fraudulent purposes.

I solemnly declare under the penalties of perjury that the contents of the foregoing paper is true to the best of my knowledge, information, and belief.

09/12/2024 10:27 AM  
EDT

Date



Signature of Affiant

Shelaine Grese  
Printed Name of Affiant

CIRCUIT COURT FOR Anne Arundel County, MARYLAND

City/County

Located at

Court Address

**AFFIDAVIT OF INTENT TO USE ELECTRONIC SIGNATURE**  
**(Md. Code, Real Property Title 3, Subtitle 7)**

1. I, Darla Grese, am over eighteen years of age and competent to testify.
2. I have signed the document or documents accompanying this affidavit by means of an electronic signature, which is defined in Md. Code, Real Property § 3-701(E) as an "electronic sound, symbol, or process attached to or logically associated with a document and executed or adopted with the intent to sign the document."
3. I have done so with the intent to sign the document.
4. My use of the electronic signature was not done for any illegal or fraudulent purposes.

I solemnly declare under the penalties of perjury that the contents of the foregoing paper is true to the best of my knowledge, information, and belief.

09/12/2024 03:20 PM EDT

Date



Signature of Affiant

Darla Grese

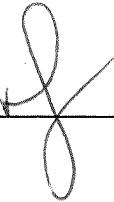
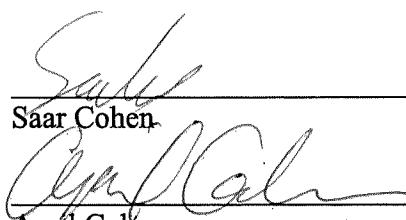
Printed Name of Affiant

File #: MD-24-24150

**OWNER OCCUPANCY AFFIDAVIT**

Saar Cohen and April Cohen, the Grantees in the within Deed hereby certify under the penalties of perjury, as evidenced by the joinder herein, that the land conveyed in this Deed is residentially improved owner-occupied real property and that the residence will be occupied by Saar Cohen and April Cohen at least 7 out of 12 months.

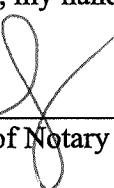
WITNESS:

  
As to All  
Saar Cohen (SEAL)  
  
April Cohen (SEAL)

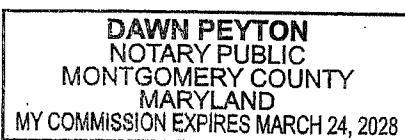
STATE OF MARYLAND  
COUNTY OF MONTGOMERY, to wit:

I hereby certify that on the 13th day of September, 2024, before me, the subscriber, a Notary Public of the State of Maryland, in and for the County aforesaid, personally appeared Saar Cohen and April Cohen, known to me or satisfactorily proven to be the persons whose names are subscribed to the within instrument and made oath in due form of law that the matters and facts set forth herein are true.

As witness, my hand and notarial seal.

  
Signature of Notary Public

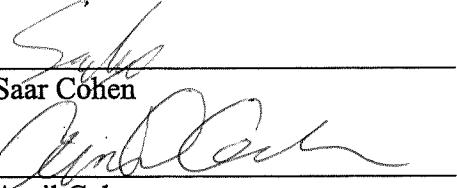
My Commission Expires: 3/24/28



**AFFIDAVIT OF GRANTEE AS  
FIRST-TIME MARYLAND HOME BUYER**

The undersigned state under oath and penalties of perjury that the following is true to the best of the knowledge, information, and belief of the individuals:

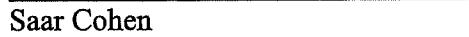
1. The undersigned are Grantees of residentially improved real property located at 1552 Park Lane, Pasadena, MD 21122.
2. The undersigned are first-time Maryland home buyers (defined in §14-104-c(6)(i) as an individual who has never owned in the state residential real property that has been the individual's principal place of residence) who will occupy the property as Grantee's principal residence.

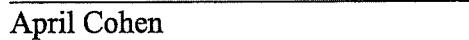
  
Saar Cohen

  
April Cohen

Or, the undersigned state under oath and penalties of perjury that the following is true to the best of the knowledge, information, and belief of the individuals:

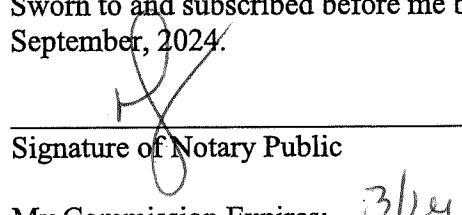
1. The undersigned are Grantees of residentially improved real property located at 1552 Park Lane, Pasadena, MD 21122.
2. The undersigned are co-makers or guarantors of the purchase money mortgage or purchase money deed of trust as defined in §12-108(i) of the Tax Property Article on the property who will not occupy the property as Grantee's principal residence.

  
Saar Cohen

  
April Cohen

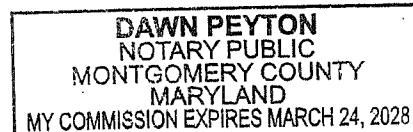
STATE OF MARYLAND  
COUNTY OF MONTGOMERY, to wit:

Sworn to and subscribed before me by Saar Cohen and April Cohen on this 13th day of September, 2024.

  
Signature of Notary Public

My Commission Expires:

(SEAL)



## State of Maryland Land Instrument Intake Sheet

 Baltimore City  County: Anne Arundel

Information provided is for the use of the Clerk's Office, State Department of Assessments and Taxation, and County Finance Office Only.  
(Type or Print in Black Ink Only—All Copies Must Be Legible)

Space Reserved to Circuit Court Clerk Recording Validation

1 Type(s) of Instruments		( <input type="checkbox"/> Check Box if addendum Intake Form is Attached.)							
<input checked="" type="checkbox"/> Deed <input checked="" type="checkbox"/> Deed of Trust		Mortgage Lease	Other _____	Other _____					
2 Conveyance Type Check Box		Improved Sale Arms-Length [1]	Unimproved Sale Arms-Length [2]	Multiple Accounts Arms-Length [3]	Not an Arms-Length Sale [9]				
3 Tax Exemptions (if applicable) Cite or Explain Authority		Recordation							
		State Transfer							
		County Transfer							
4 Consideration and Tax Calculations		Consideration Amount			Finance Office Use Only Transfer and Recordation Tax Consideration				
		Purchase Price/Consideration		\$ 870,000.00		Transfer Tax Consideration \$			
		Any New Mortgage		\$ 696,000.00		X ( ) % = \$			
		Balance of Existing Mortgage		\$		Less Exemption Amount - \$			
		Other:		\$		Total Transfer Tax = \$			
		Other:		\$		Recordation Tax Consideration \$			
		Full Cash Value:		\$		X ( ) per \$500 = \$			
5 Fees		Amount of Fees			Agent:				
		Recording Charge		\$ 60.00		\$ 60.00			
		Surcharge		\$		\$			
		State Recordation Tax		\$ 6,090.00		\$			
		State Transfer Tax		\$ 2,175.00		\$			
		County Transfer Tax		\$ 8,700.00		\$			
		Other		\$		\$			
		Other		\$		\$			
6 Description of Property  SDAT requires submission of all applicable information. A maximum of 40 characters will be indexed in accordance with the priority cited in Real Property Article Section 3-104(g)(3)(i).		District	Property Tax ID No. (1)	Grantor Liber/Folio	Map	Parcel No.	Var. LOG		
			03-130-12787600	34984 174				<input type="checkbox"/> (5)	
		Subdivision Name			Lot (3a)	Block (3b)	Sect/AR (3c)	Plat Ref.	SqFt/Acreage (4)
		BODKINS PLAINS			1ar				
		Location/Address of Property Being Conveyed (2)							
		1552 Park Lane, Pasadena, MD 21122							
		Other Property Identifiers (if applicable)							
		Water Meter Account No.							
		Residential <input checked="" type="checkbox"/> or Non-Residential <input type="checkbox"/>		Fee Simple <input checked="" type="checkbox"/> or Ground Rent <input type="checkbox"/>	Amount:				
		Partial Conveyance? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Description/Amt. of SqFt/Acreage Transferred:					
If Partial Conveyance, List Improvements Conveyed:									
7 Transferred From		Doc. 1 – Grantor(s) Name(s)			Doc. 2 – Grantor(s) Name(s)				
		Darla Grese and Shelaime Grese			Saar Cohen and April Cohen				
		Doc. 1 – Owner(s) of Record, if Different from Grantor(s)			Doc. 2 – Owner(s) of Record, if Different from Grantor(s)				
8 Transferred To		Doc. 1 – Grantee(s) Name(s)			Doc. 2 – Grantee(s) Name(s)				
		Saar Cohen and April Cohen			Trustee - Brian J Evans				
		New Owner's (Grantee) Mailing Address							
		1552 Park Lane, Pasadena, MD 21122							
9 Other Names to Be Indexed		Doc. 1 – Additional Names to be Indexed (Optional)			Doc. 2 – Additional Names to be Indexed (Optional)				
					Prosperity Home Mortgage, LLC				
10 Contact/Mail Information		Instrument Submitted By or Contact Person						<input checked="" type="checkbox"/> Return to Contact Person <input type="checkbox"/> Hold for Pickup <input type="checkbox"/> Return Address Provided	
		Name: Post Closing Department							
11		Firm CLA Title & Escrow Address: 9210 Corporate Boulevard, Suite. 150 Rockville, MD 20850						Phone: (888) 924-9008	
		IMPORTANT: BOTH THE ORIGINAL DEED AND A PHOTOCOPY MUST ACCOMPANY EACH TRANSFER							
		Assessment Information		<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No	Will the property being conveyed be the grantee's principal residence?			
				<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Does transfer include personal property? If yes, identify: _____			
				<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	Was property surveyed? If yes, attach copy of survey (if recorded, no copy required).			
		Assessment Use Only – Do Not Write Below This Line							
		Terminal Verification		Agricultural Verification		Whole	Part	Tran. Process Verification	
		Transfer Number		Date Received:		Deed Reference:	Assigned Property No.:		
Year	20	20	Geo.	Map	Sub	Block			
Land			Zoning	Grid	Plat	Lot			
Buildings			Use	Parcel	Section	Occ. Cd.			
Total			Town Cd.	Ex. St.	Ex. Cd.				
REMARKS:									

Space Reserved for County Validation

# Chesapeake Bay Critical Area Report

**Bodkin Plains ~ Lot 1AR**

Tax Map 18, Grid 20, Parcel 78

Tax Account No. 03-130-12787600

**Property Address:** 1552 Park Lane  
Pasadena, Maryland 21122

**Property Owner & Variance Applicant:** Saar Cohen

**Critical Area Designation:** LDA **Zoning:** R-1 **Lot Area:** 1.39Ac.

## Site Description

The subject property is located off Park Lane in the Bodkin Plains Subdivision, is irregular in shape which is divided by the Park Lane Right of Way bed, is a legal building parcel consisting of approximately 1.39 acres in area and is currently improved with a single-family dwelling which is proposed to remain. The property has a zoning designation of R-1 and is located entirely within the Limited Development Area designation of the Chesapeake Bay Critical Area. The site is currently served by private well and septic system. There are several hardships and practical difficulties regarding the redevelopment of the subject property. A large portion of the site is within the 100-ft buffer to tidal waters which encumber 8,765 sq. ft. or 14.51% of the total lot area. The “platted” expanded buffer encumbers an additional 9,355 sq. ft or 15.49% of the total lot area. Additionally, there is a pocket of Platted Non-Tidal wetlands and the associated 25-ft buffer on site which cover, 5,230 sq. ft. or 8.66% of the total site area. Lastly, the steep slopes of 15% or greater cover 8,472 sq. ft. or 14.03% of the total lot area. The unimproved portion of the site is vegetated with numerous hardwood & evergreens trees and understory growth. The site is in a Buffer Modified area.

## Description and Purpose of Variance Request

The current owners have to address a violation established on October 7th, 2020 of grading and clearing of woody vegetation within the initial 100-foot buffer resulting in disturbance of 4,979 sq. ft. for the above referenced property. Therefore, the mitigation plantings require a variance to **Article 17, Section 8-201(a)** of the Anne Arundel County Code for disturbance and development of slopes 15% or greater in the LDA.

## Vegetative Coverage and Clearing

This property is vegetatively stabilized with developed woodland, including a variety of mature hardwood trees, a creeping ivy groundcover common to the community of Bodkin Plains. The Pre-Violation on-site wooded area totaled roughly 48,563 s.f. (0.69 Ac.). Approximately 3,795 s.f. of canopy was disturbed as a result of violation #E-2020-711. Reforestation requirements for this property will be addressed during the grading permit phase of this project in accordance with code requirements.

## Lot Coverage

The site currently has 6,821 s.f. (0.16 Ac.) of impervious coverage. The proposed impervious area for this property is 6,821 s.f. (0.16 Ac.), which is s.f. below the 9,038 s.f. of allowable lot coverage for this site.

## **Buffers**

The site is located along Bodkin Creek and is designated as a Buffer Modified Area. 15% and greater steep slopes are present along all the shoreline and extend beyond the 100-ft to tidal waters. Within and adjacent to the property lies a pocket of non-tidal wetlands and their associated 25-ft Buffer. The clearing of woody vegetation and impacts to steep slopes are the subject of the variance resulting in a total of 4,979 square feet of buffer and steep slope disturbance all of which is considered temporary disturbance. Majority of waterfront portions of the property are encumbered by buffers.

### **Steep Slopes (slopes > 15%)**

The site has approximately 8,472 s.f. of steep slopes and the associated 25-foot buffer covers 1,723 s.f. totaling 10,195 s.f. or 16.88% of the site area. Approximately 3,103 s.f. (0.07 Ac.) of the steep slopes 15% or greater were disturbed during the unpermitted clearing. Of that disturbance, 0 s.f. of disturbance is proposed permanent disturbance. The entire 3,103 s.f. of disturbance is temporary disturbance. Disturbance of these slopes was unavoidable as a large portion of the site is encumbered by them, the proposed will be planted to maximize stabilization of the slopes to satisfy the violation.

### **Predominant Soils**

The predominant soil type is Patapsco-Evesboro-Fort Mott complex, 0 to 5 percent slopes (PeB). This soil has a type "A" hydrologic classification and is not a hydric soil (soils characteristic of wetlands).

### **FEMA Floodplain**

The subject property appears on FEMA Firm panel no. 24003C0176F. The property is in floodplain Zone AE with a base flood elevation of 6.0-ft (NAVD88). Approximately 57 s.f. of this area was temporarily disturbed as a result of the aforementioned violation.

### **Drainage and Rainwater Control**

There does not appear to be any existing stormwater management on site. The drainage patterns remain relatively unchanged from the pre-development conditions. Stormwater management will be addressed during the permitting process in accordance with code requirements. Sediment and Erosion control is achieved through perimeter control of silt fence. In the post development condition, the development will have no adverse effect on the sensitive environmental features of the site and surrounding areas and site disturbance will be mitigated onsite per the Mitigation Planting and Buffer Management plan during the permitting process in order to meet Anne Arundel County and MDE design criteria.

### **Conclusions – Variance Standards**

The applicant proposes to address the existing violations E-2024-377 and B-2024-557. The need for the requested Critical Area Variance arises from the existing unique nature and constraints of this property, specifically the irregular shape of the lot, and the illegal clearing being executed by the previous owners. To deny the requested variance would deprive the applicant the opportunity to address the existing violation. With the implementation of mitigation planting, and sediment and erosion control practices, the development will not cause adverse impacts to fish, wildlife, or water quality in the Critical Area.

**Reference:**

ADC: The Map People, 2002 Anne Arundel County, Maryland, Street Map Book

Anne Arundel County Office of Planning & Zoning , 2007 Critical Area Map

Anne Arundel County Office of Planning & Zoning, 2007 Buffer Exemption Map

Anne Arundel County, Maryland; Chesapeake Bay Critical Area Mapping Program, 2007, Critical Area Map

Federal Emergency Management Agency , 2016. Flood Insurance Rate Map

First American Real Estate Solutions, 2002, Realty Atlas: Anne Arundel County Maryland

Drum, Loyka and Associates LLC, 2025 Variance Plan

U.S. Department of Agriculture, Natural Resource Conservation Service –2016 Soil Survey of Anne Arundel County Maryland.

CRITICAL AREA COMMISSION  
FOR THE CHESAPEAKE AND ATLANTIC COASTAL BAYS  
1804 WEST STREET, SUITE 100  
ANNAPOLIS, MD 21401

PROJECT NOTIFICATION APPLICATION

**GENERAL PROJECT INFORMATION**

Jurisdiction: Anne Arundel County

Date October 15, 2025

Tax Map #	Parcel #	Block #	Lot #	Section
18	78	20	1	1AR

**FOR RESUBMITTAL ONLY**

Corrections

Redesign

No Change

Non-Critical Area

\* Complete only Page 1  
General Project Information

Tax ID 3-130-12787600

Project Name (site name, subdivision name, or other)

Bodkin Plains Lot 1AR

Project location/Address 1552 Park Lane

City

Pasadena, MD.

Zip

21122

Local case number

Applicant: Last name

Cohen

First name

Saar

Company

N/A

**Application Type (check all that apply):**

Building Permit



Variance



Buffer Management Plan



Rezoning

Conditional Use



Site Plan

Consistency Report



Special Exception

Disturbance > 5,000 sq ft



Subdivision

Grading Permit



Other

**Local Jurisdiction Contact Information:**

Last name:

First name

Phone #

Response from Commission Required By

Fax #

Hearing date

## SPECIFIC PROJECT INFORMATION

Describe Proposed use of project site:

Addressing Violation #E-2020-711 for clearing of woody vegetation and 15% steep slope & buffer disturbance

<input type="checkbox"/> Intra-Family Transfer <input type="checkbox"/> Grandfathered Lot	<b>Yes</b>	<input type="checkbox"/> Growth Allocation <input checked="" type="checkbox"/> Buffer Exemption Area	<b>Yes</b>
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### Project Type (check all that apply)

<input type="checkbox"/> Commercial <input type="checkbox"/> Consistency Report <input type="checkbox"/> Industrial <input type="checkbox"/> Institutional <input type="checkbox"/> Mixed Use <input type="checkbox"/> Other	<input type="checkbox"/> Recreational <input type="checkbox"/> Redevelopment <input checked="" type="checkbox"/> Residential <input type="checkbox"/> Shore Erosion Control <input type="checkbox"/> Water-Dependent Facility
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### SITE INVENTORY (Enter acres or square feet)

	Acres	Sq Ft
IDA Area	0	0
LDA Area	1.39	60,384
RCA Area	0	0
Total Disturbed Area	0.11	4,979

	Acres	Sq Ft
Total Disturbed Area	0.11	4,979
# of Lots Created	1	

	Acres	Sq Ft		Acres	Sq Ft
Existing Forest/Woodland/Trees	1.11	48,563	Existing Impervious Surface	0.16	6,821
Created Forest/Woodland/Trees	0	0	New Impervious Surface	0	0
Removed Forest/Woodland/Trees	0.09	3,795	Removed Impervious Surface	0.00	0
			Total Impervious Surface	0.16	6,821

### VARIANCE INFORMATION (Check all that apply)

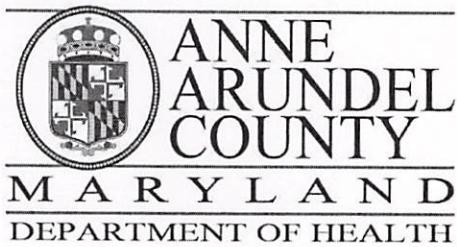
	Acres	Sq Ft		Acres	Sq Ft
Buffer Disturbance	0.11	4,979	Buffer Forest Clearing	0.09	3,979
Non-Buffer Disturbance	0	0	Mitigation	0.47	20,274

#### Variance Type

<input type="checkbox"/> Buffer <input checked="" type="checkbox"/> Forest Clearing <input type="checkbox"/> HPA Impact <input type="checkbox"/> Impervious Surface <input type="checkbox"/> Expanded Buffer <input type="checkbox"/> Nontidal Wetlands <input type="checkbox"/> Setback <input type="checkbox"/> Steep Slopes <input type="checkbox"/> Other	<input checked="" type="checkbox"/>
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#### Structure

<input type="checkbox"/> Acc. Structure Addition <input type="checkbox"/> Barn <input type="checkbox"/> Deck <input type="checkbox"/> Dwelling <input type="checkbox"/> Dwelling Addition <input type="checkbox"/> Garage <input type="checkbox"/> Gazebo <input type="checkbox"/> Patio  <input type="checkbox"/> Shed <input type="checkbox"/> Other	<input type="checkbox"/>
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J. Howard Beard Health Services Building  
3 Harry S. Truman Parkway  
Annapolis, Maryland 21401  
Phone: 410-222-7095 Fax: 410-222-7294  
Maryland Relay (TTY): 711  
[www.aahealth.org](http://www.aahealth.org)

**Tonii Gedin, RN, DNP**  
Health Officer

**MEMORANDUM**

TO: Sadé Medina, Zoning Applications  
Planning and Zoning Department, MS-6301

FROM: Brian Chew, Program Manager *BC*  
Bureau of Environmental Health

DATE: November 24, 2025

RE: Saar Cohen  
1552 Park Lane  
Pasadena, MD 21122

NUMBER: 2025-0215-V

SUBJECT: Variance/Special Exception/Rezoning

The Health Department has reviewed the above referenced variance to perfect dwelling additions (carport, deck, patio) with less setbacks than required and with disturbance to slopes of 15% or greater, and to perfect the disturbance of slopes of 15% or greater).

Based on a review of the above referenced request, additional information is needed by the Health Department on the location of the addition for this variance request. It must be shown on the site plan.

If you have further questions or comments, please contact Brian Chew at 410-222-7413.

cc: Sterling Seay

## 2025-0215-V

Menu Cancel Help

## Task Details OPZ Critical Area Team

**Assigned Date**

11/18/2025

**Assigned to**

Kelly Krinetz

**Current Status**

Complete w/ Comments

**Action By**

Kelly Krinetz

**Comments**

This is a complicated request involving an outstanding clearing, grading and building violation on the property. In 2020, the prior property owner was cited for the clearing of woody vegetation in the buffer as well as the construction of an enclosed carport and new deck/patio without the proper permits. A grading permit was submitted in 2022 to perfect the violation and the reviewer required a variance to address the steep slope disturbance that had occurred as part of the violation. It has been determined that neither the carport or deck/patio require variance approval. Although clearing in the buffer would have required a variance had permits been applied for appropriately, a variance is not required to perfect the clearing as that would allow the clearing to remain. For this reason, the clearing remains a violation and will be mitigated as such with the permit application in order to restore the buffer to its original vegetated condition. As for the slope disturbance, a variance will be processed to allow the changes to the existing grades to remain. These areas will be restored to a vegetated condition and will be mitigated at a rate appropriate for the variance as well as violation with the associated permits.

This Office has no objection to this approval as the denial of this variance would require the applicant to regrade the already disturbed area. Approval of this application will allow the applicant to restore the buffer and slope area to a vegetated stable condition, re-establishing the habitat areas on site.

**End Time****Billable**

No

**Time Tracking Start Date****In Possession Time (hrs)****Estimated Hours**

0.0

**Comment Display in ACA**

- All ACA Users
- Record Creator
- Licensed Professional
- Contact
- Owner

**Task Specific Information****Expiration Date****Reviewer Phone Number****Review Notes****Reviewer Email**

<b>Due Date</b>	12/09/2025
<b>Assigned to Depar</b>	OPZ Critical Area
<b>Status Date</b>	12/11/2025
<b>Overtime</b>	No
<b>Start Time</b>	

<b>Hours Spent</b>	0.0
<b>Action by Departr</b>	OPZ Critical Area
<b>Est. Completion D</b>	
<input type="checkbox"/> <b>Display E-mail</b>	
<input checked="" type="checkbox"/> <b>Display Comm</b>	

Wes Moore  
*Governor*

Aruna Miller  
*Lt. Governor*



Erik Fisher  
*Chair*

Nick Kelly  
*Executive Director*

**STATE OF MARYLAND  
CRITICAL AREA COMMISSION  
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

December 2, 2025

Ms. Sterling Seay  
Planning Administrator  
Anne Arundel County Zoning Division  
2664 Riva Road, MS 6301  
Annapolis, Maryland 21401

Re: Cohen AFT Variance – 1552 Park Ln, Pasadena

Dear Ms. Seay,

Thank you for submitting information regarding the above-referenced after-the-fact variance to our office for review. The applicant is requesting an after-the-fact variance to maintain improvements attached to the primary dwelling (i.e., a carport, deck and patio) within the 25-foot steep slope buffer. The 1.39-acre property is located in the Critical Area on lands designated Limited Development Area (LDA) and is mapped as a Buffer Modified Area (BMA).

Including the primary dwelling improvements, lot coverage on the property is within the amount allowed for a property of this size. A violation was issued for this property in July 2025 for the unpermitted construction of the dwelling improvements as well as for additional unpermitted clearing and grading in the 100-foot Buffer. Approximately 3,655 square feet of canopy was removed without permits.

In order to grant this variance, the Administrative Hearing Officer must find the request meets each and every one of the variance standards under COMAR 27.01.12. Please note that mitigation for the violation is required at a ratio of 4:1 for the limit of disturbance, plus an additional 1:1 for the area of forest and developed woodland cleared. Should this after-the-fact variance be granted, additional mitigation for this variance is required at a ratio of 3:1 for the limit of disturbance for the carport, deck, and patio.

Thank you for the opportunity to provide comments. Please include this letter in your file and submit it as part of the record for this variance. Also, in accordance with Natural Resources Article §8-1808(d)(6)(i), please provide the Commission with a copy of the Administrative Hearing Officer's written decision regarding this variance application within 10 working days after a written decision has been issued. If you have any questions, please feel free to contact me at 410-260-3479 or [kathryn.hayden@maryland.gov](mailto:kathryn.hayden@maryland.gov).

Sincerely,



Kathryn Hayden  
Natural Resources Planner

File: AA 0313-25  
cc: Jennifer Esposito, Critical Area Commission  
Jamileh Soueidan, Critical Area Commission  
Kelly Krinetz, Anne Arundel County  
James Haup, Anne Arundel County  
Donald Dyott, Anne Arundel County

## 2025-0215-V

Menu Cancel Help

<b>Task Details I and P Engineering</b>	
<b>Assigned Date</b>	<b>Due Date</b>
11/19/2025	12/09/2025
<b>Assigned to</b>	<b>Assigned to Department</b>
Jean Janvier	Engineering
<b>Current Status</b>	<b>Status Date</b>
Complete w/ Comments	12/09/2025
<b>Action By</b>	<b>Overtime</b>
Jean Janvier	No
<b>Comments</b>	<b>Start Time</b>
<p>1. Label all three segments of Park Lane as either public or private.</p> <p>2. The Variance Letter states a new deck was constructed in violation. However, the Site Plan shows the LOD around a concrete patio an upper-level deck. Describe in detail what was constructed.</p> <p>3. On the Site Plan, label the septic tank and indicate if it is existing or if it was constructed in violation.</p> <p>4. There is a less than 90-degree angle in the sewer house connection to the septic tank. Please explain.</p> <p>5. Is there permission for the septic connections to cross the 20-foot right-of-way labelled as Park Lane? Submit the documents with the portions highlighted allowing the private septic to cross Park Lane. Label the size of the sewer house connection and label the pipe size of type for each of the septic/sewer line segments.</p> <p>6. The Overall Site Plan is labelled scale 1" = 20', while the title block states the plan is 1" = 30'. Please revise accordingly.</p> <p>7. Label the 25-foot wetland buffer. There appears to be a line shown on the Site Plan that parallels the non-tidal wetlands line.</p> <p>8. The LOD is shown going through the existing slate step and covered porch. Were they also replaced or constructed in violation? Please explain.</p> <p>9. The carport is constructed within the steep slope buffer. Revise the variance to include the 25-foot steep slope buffer disturbance.</p> <p>10. Add the new grading permit number to the Site Plan.</p> <p>11. The LOD is also within the wetland buffer. An additional variance to disturb the wetland buffer may be required. We defer to the Critical Area Team reviewer.</p> <p>12. In the Parcel Line Tabulations table, include the bearings and distances for the portion of Lot 1AR containing the septic trenches, located on the opposite side of Park Lane.</p> <p>13. Label the properties and their owners adjacent to the portion of Lot 1AR containing the septic trenches, located on the opposite side of Park Lane.</p> <p>14. In the FEMA map number, found in the Environmental Conservation Notes, the digit between C and 1 should be zero, not a capital O. Revise the capital O between the C and the 1 to be a zero.</p> <p>15. On the Site Plan, show all easements on both portions of Lot 1AR as shown on the plat.</p>	
<b>End Time</b>	<b>Hours Spent</b>
	0.0
<b>Billable</b>	<b>Action by Department</b>
No	Engineering
<b>Time Tracking Start Date</b>	<b>Est. Completion Date</b>
In Possession Time (hrs)	
<b>Estimated Hours</b>	<input type="checkbox"/> <b>Display E-mail</b>
0.0	<input checked="" type="checkbox"/> <b>Display Comments</b>
<b>Comment Display in ACA</b>	
<input checked="" type="checkbox"/> All ACA Users <input checked="" type="checkbox"/> Record Creator <input checked="" type="checkbox"/> Licensed Professional <input checked="" type="checkbox"/> Contact <input checked="" type="checkbox"/> Owner	

**Task Specific Information**

<b>Expiration Date</b>	<b>Review Notes</b>	<b>Reviewer Name</b>
<b>Reviewer Phone Number</b>	<b>Reviewer Email</b>	



Mark Wedemeyer, Director

2664 Riva Road

Annapolis MD 21401

Phone: (410) 222-7790

[www.aacounty.org/inspections-and-permits](http://www.aacounty.org/inspections-and-permits)

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**FINAL NOTICE**

July 31, 2025

***Hand Posted, Personal Service***

Saar Cohen  
April Cohen  
1552 Park Ln.  
Pasadena, MD 21122

**RE: 1552 Park Ln. Pasadena, MD 21122 (Tax Map: 18; Grid: 20; Parcel: 78; Lot: 1AR)**  
**Stop Work Order and Violation Notice (B-2024-707/E-2020-711) (Tax Id: 3130-1278-7600)**

Dear Mr. and Ms. Cohen:

On October 7, 2020, the referenced property was inspected by representatives of this department and found to be in violation of the Anne Arundel County Critical Area, Grading, and Stormwater Management Ordinances (all code citations are from the Anne Arundel County Code). Specifically, development activities of grading and removal of woody vegetation **resulting in disturbance of 4,979 square feet** in the Chesapeake Bay Critical Area Buffer as well as construction of an enclosed carport and a new deck has occurred without the required construction, grading and sediment control, stormwater management, well and septic, and zoning authorizations required by Article 15, Section 2-101.105.1, Article 16, Section 3-201, Section 4-201, Article 17 and Article 18, respectively. Consequently, a Stop Work Order was posted on the subject property on October 7, 2020 for grading without a permit and grading without an approved stormwater management plan in accordance with Article 16, Sections 5-103 and 5-105, respectively. A Second Stop Work Order was placed on the property on December 10, 2024 for the illegal construction of the car port enclosure and the new deck. Please note, to perform further work in violation of this Article or a Stop Work Order is a violation of Article 16, Section 5-101(a)(4).

Accordingly, a Grading Permit Application (G02019274 Revision Required) was submitted on January 31, 2022 by the prior owners to abate the violation. To date the comments generated as a result of agency reviews on February 15, 2022, have yet to be addressed. As the new property owners of record, this matter shall be addressed, **by no later than September 1, 2025** and diligently pursue issuance of same, inclusive of applicable zoning and environmental authorizations. In accordance with Article 16, Section 1-109, the Department shall deny the issuance of additional permits until this violation is corrected. Failure to comply with this notice may result in the issuance of additional fines and immediate referral to the County Office of Law for civil enforcement or penalties as outlined in Article 16, Title 5. In addition the County may institute any other appropriate legal proceedings as allowed by law in response to the violations at the above property.

If you have any other questions regarding this correspondence, please contact me at [jphaup00@aacounty.org](mailto:jphaup00@aacounty.org) or by calling (410) 222-4602. (A copy of this notice must be included with all required applications.)

Sincerely,

A handwritten signature in black ink, appearing to read "James J. Haupt".

James J. Haupt, CBLP  
Code Compliance Supervisor

# Map Title



## Legend

Foundation

Addressing



Parcels



Parcels - Annapolis City



This map is a user generated static output from an Internet mapping site and is for reference only.  
Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

none



0 50 100  
ft



THIS MAP IS NOT TO BE  
USED FOR NAVIGATION

Notes