

**FINDINGS AND RECOMMENDATION
OFFICE OF PLANNING AND ZONING
ANNE ARUNDEL COUNTY, MARYLAND**

APPLICANTS: Saar & April Cohen

ASSESSMENT DISTRICT: 3rd

CASE NUMBER: 2025-0215-V

COUNCILMANIC DISTRICT: 3rd

HEARING DATE: January 22, 2026

PREPARED BY: Donnie Dyott Jr. 
Planner

REQUEST

The applicants are requesting a variance to perfect grading with disturbance to slopes of 15% or greater on property located at 1552 Park Lane in Pasadena.

LOCATION AND DESCRIPTION OF SITE

The subject site consists of approximately 1.39 acres of land and is identified as Lot 1AR of Parcel 78 in Block 20 on Tax Map 18 in the Bodkin Plains subdivision. The property is zoned R1 - Residential District and is improved with a single family detached dwelling and associated facilities. This is a waterfront property on Bodkin Creek which lies within the Chesapeake Bay Critical Area and is designated as LDA - Limited Development Area. The site is mapped within a BMA - Buffer Modification Area.

APPLICANT'S PROPOSAL

The applicant proposes to perfect slope disturbance that was the result of prior clearing and grading performed by the previous owner.

REQUESTED VARIANCES

§ 17-8-201(a) of the Anne Arundel County Subdivision and Development Code states that development in the LDA may not occur within slopes of 15% or greater unless development will facilitate stabilization of the slope; is to allow connection to a public utility; or is to provide direct access to the shoreline. The previous clearing and grading disturbed slopes of 15% or greater, necessitating a variance to this provision. Exact slope disturbance will be determined at the time of permit.

As outlined in the Critical Area team comments, no variances are required to perfect the clearing or the structures (carport and deck/patio).

AGENCY COMMENTS

The **Health Department** commented that additional information is needed on the location of the addition and it must be shown on the plan.

The **Development Division (Critical Area Team)** commented that this is a complicated request involving an outstanding clearing, grading and building violation on the property. In 2020, the prior property owner was cited for the clearing of woody vegetation in the buffer as well as the construction of an enclosed carport and new deck/patio without the proper permits. A grading permit was submitted in 2022 to perfect the violation and the reviewer required a variance to address the steep slope disturbance that had occurred as part of the violation. It has been determined that neither the carport or deck/patio require variance approval. Although clearing in the buffer would have required a variance had permits been applied for appropriately, a variance is not required to perfect the clearing as that would allow the clearing to remain. For this reason, the clearing remains a violation and will be mitigated as such with the permit application in order to restore the buffer to its original vegetated condition. As for the slope disturbance, a variance will be processed to allow the changes to the existing grades to remain. These areas will be restored to a vegetated condition and will be mitigated at a rate appropriate for the variance as well as violation with the associated permits.

This Office has no objection to this approval as the denial of this variance would require the applicant to regrade the already disturbed area. Approval of this application will allow the applicant to restore the buffer and slope area to a vegetated stable condition, re-establishing the habitat areas on site.

The **Critical Area Commission** commented that including the primary dwelling improvements, lot coverage on the property is within the amount allowed for a property of this size. A violation was issued for this property in July 2025 for the unpermitted construction of the dwelling improvements as well as for additional unpermitted clearing and grading in the 100-foot Buffer. Approximately 3,655 square feet of canopy was removed without permits. In order to grant this variance, the Administrative Hearing Officer must find the request meets each and every one of the variance standards under COMAR 27.01.12. Please note that mitigation for the violation is required at a ratio of 4:1 for the limit of disturbance, plus an additional 1:1 for the area of forest and developed woodland cleared. Should this after-the-fact variance be granted, additional mitigation for this variance is required at a ratio of 3:1 for the limit of disturbance for the carport, deck, and patio.

The **Department of Inspections and Permits (Engineering Division)** did not take a position on the request but provided comments related to the site plan which are included in full as part of the County exhibits.

FINDINGS

The existing lot coverage of 6,821 square feet will remain unchanged and appears to be within the allowable limit in the LDA. Exact lot coverage calculations will be determined at the time of permit. The property is currently the subject of two open violations under case numbers E-2020-711 and B-2024-707 for the previously completed clearing, slope disturbance and construction of the additions.

For the granting of a critical area variance, a determination must be made on the following:

Because of certain unique physical conditions, such as exceptional topographical conditions peculiar to and inherent in the particular lot or irregularity, narrowness, or shallowness of lot size and shape, strict implementation of the County's critical area program would result in an unwarranted hardship or practical difficulty. In this case the previous owner graded and cleared vegetation which resulted in the disturbance of steep slopes on the site. The current owner did not participate in or have initial knowledge of these actions but must now address these existing conditions. As such, some relief is warranted to allow the current owner to avoid practical difficulties.

A literal interpretation of the County's critical area program may deprive the applicants of rights that are commonly enjoyed by other properties in similar areas by denying the applicants the right to correct actions of a previous owner that the current owners had no opportunity to prevent. The granting of the variance will not confer on the applicants a special privilege that would be denied by COMAR, Title 27. This request is not a result of actions by the applicants and does not arise from any condition relating to land or building use on any neighboring property. With property mitigation there is no evidence that the granting of the variance will adversely affect water quality or impact fish, wildlife or plant habitat and the proposal is in harmony with the general spirit and intent of the County's critical area program. The applicants have overcome the presumption that the specific development does not conform to the general purpose and intent of the critical area law and have evaluated site planning alternatives.

With regard to the requirements for all variances:

The variance as proposed is considered the minimum necessary to afford relief by this Office. As stated in the Critical Area team comments, denial of the variance would require the applicants to regrade the already disturbed area while approval will allow the applicants to restore the buffer and slope area to a vegetated stable condition. There is no evidence that the proposed additions will alter the essential character of the neighborhood, impair the use or development of adjacent property or be detrimental to the public welfare. With mitigation the proposal will not reduce forest cover in the LDA and will not be contrary to acceptable clearing and replanting practices.

RECOMMENDATION

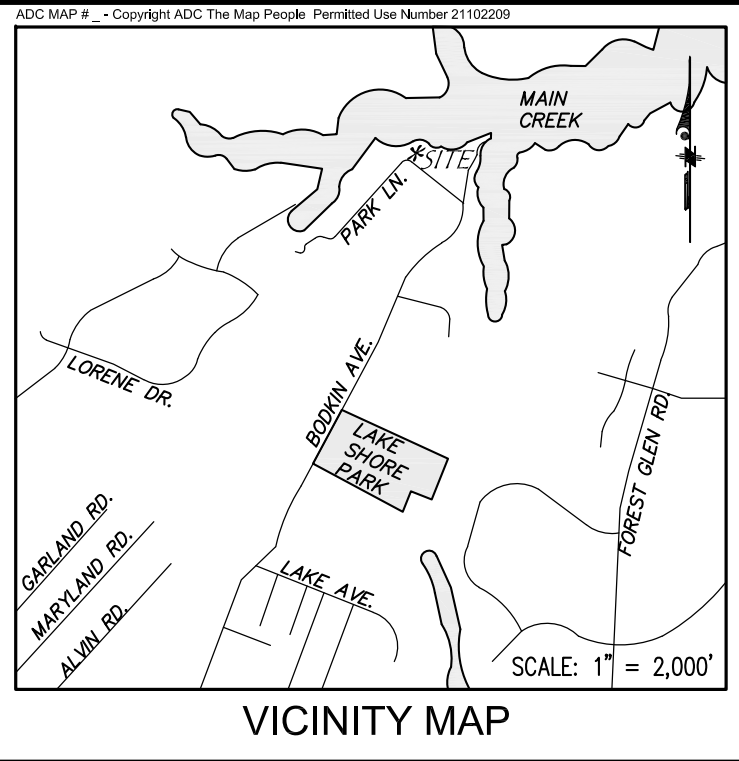
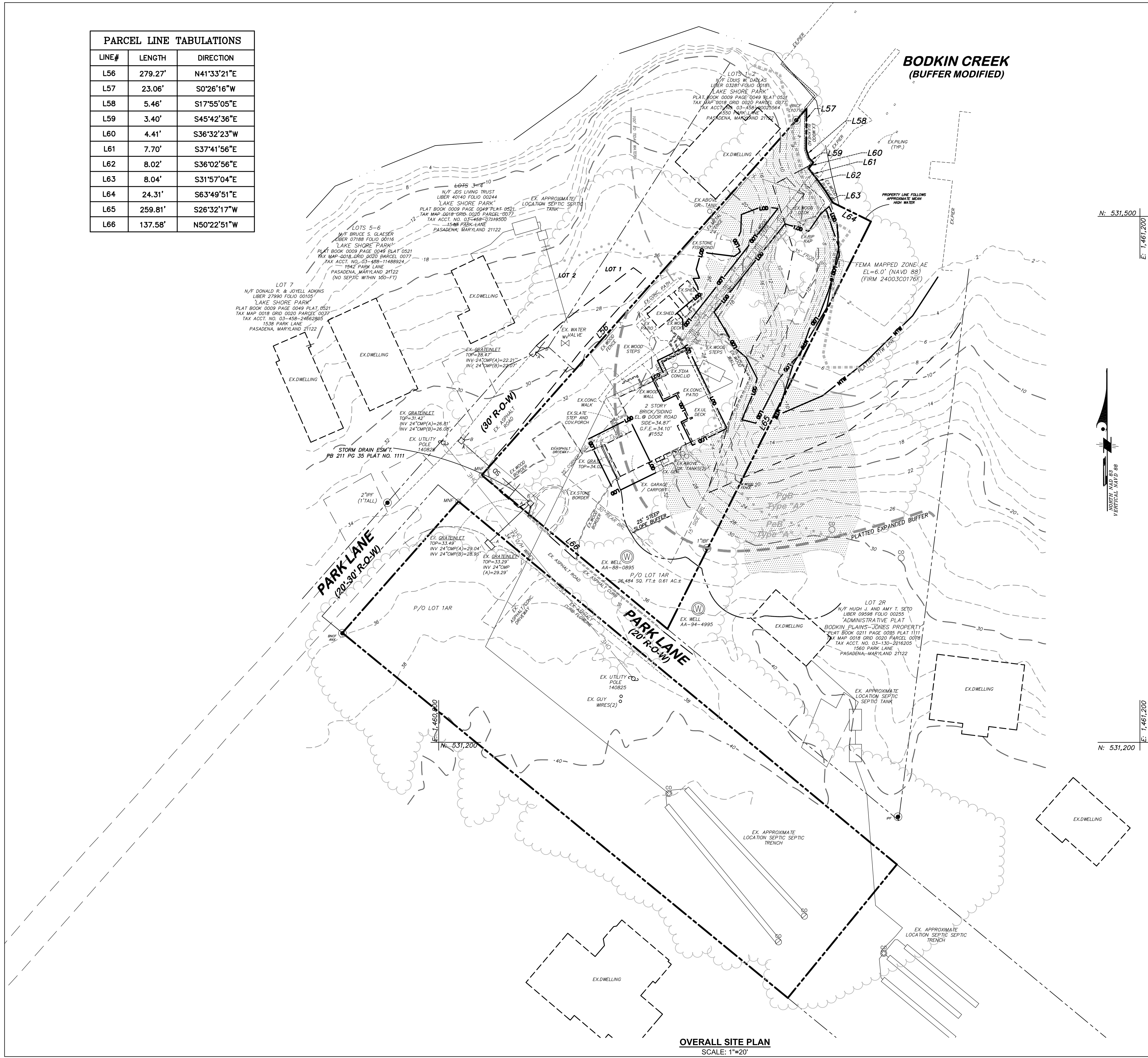
Based upon the standards set forth in § 18-16-305 under which a variance may be granted, this Office recommends **approval** of the variance to perfect the slope disturbance as shown on the site plan.

Should the variance be granted the approval shall be conditioned on the applicant completing the following within 90 days of the date of the decision:

- (i) obtain an approved mitigation or restoration plan;*
- (ii) complete the abatement measures in accordance with the County critical area program;*
- (iii) paying any civil fines assessed and finally adjudicated*

DISCLAIMER: This recommendation does not constitute a building permit. In order for the applicant(s) to construct the structure(s) as proposed, the applicant(s) shall apply for and obtain the necessary building permits and obtain any other approvals required to perform the work described herein. This includes but is not limited to verifying the legal status of the lot, resolving adequacy of public facilities, and demonstrating compliance with environmental site design criteria.

PARCEL LINE TABULATIONS		
LINE#	LENGTH	DIRECTION
L56	279.27'	N41°33'21"E
L57	23.06'	S0°26'16"W
L58	5.46'	S17°55'05"E
L59	3.40'	S45°42'36"E
L60	4.41'	S36°32'23"W
L61	7.70'	S37°41'56"E
L62	8.02'	S36°02'56"E
L63	8.04'	S31°57'04"E
L64	24.31'	S63°49'51"E
L65	259.81'	S26°32'17"W
L66	137.58'	N50°22'51"W



- ENVIRONMENTAL CONSERVATION NOTES:**
- PRIMARY ENVIRONMENTAL FEATURES:**
- Streams: There are no streams on the subject property.
 - Stream Buffers: There are no stream buffers on the subject property.
 - Wetlands and Wetland Buffers: There are non-tidal wetlands & the associated 25' buffer on the subject property.
 - Floodplains: The subject property is affected by a floodplain as established by the Federal Emergency Management Agency, FEMA Mapped Zone AE EI=6.0 (NAVD 88) (Firm 24003CO176F) (FEMA).
- SECONDARY ENVIRONMENTAL FEATURES:**
- Critical Areas Boundary: The subject property is within the Chesapeake Bay Critical Area. With an LDA designation.
 - Soils Types: The subject property is comprised of two soil types Patapsco-Everboro-Fort Mott complex (PeB) 0 to 5% Slopes, with a type 'A' hydrological rating & Patapsco-Fort-Mott urban land complex (PgB) 0 to 5% Slopes, with a type 'A' hydrological rating.[per US Department of Agriculture's Natural Resource Conservation Service (NRCS)].
 - Forest: There is developed woodlands on the subject property.
 - Steep Slopes: There are steep slopes & associated buffers on the subject property.
 - Cultural Resources: There are no known cultural resources associated with the subject property.

- NOTE:**
- Entire site lies within R-1 zoning and has Type A soils
 - Site lies within the Critical Area with an LDA land use designation
 - Entire site lies within the Rural water service area with no public service (W-3)
 - Entire site lies within the Rural sewer service area with no public service (S-3)
 - Entire site lies within the Bodkin Creek Watershed
 - Park Lane is not a scenic or historic road
 - The site does not lie within or impact a bog drainage area

SITE TABULATIONS	
• Total Site Area:	60,384 S.F. (1.39 Ac.)
• Bodkin Creek (Buffer Modified)	
• Private Water & Septic	
• Chesapeake Bay Critical Area Designation	LDA (Limited Development Area)
• Critical Area Lot Coverage:	
-Existing Coverage:	6,821 S.F. (0.16 Ac.)
-Allowable Coverage (17-8-402):	9,038 S.F. (0.21 Ac.)
-Post Development Lot Coverage:	6,821 S.F. (0.16 Ac.)
• Total Area Of Disturbance:	6,888 S.F. (0.16 Ac.)
• Total 15% Steep Slopes On Site:	8,472 S.F. (0.19 Ac.)
-Total Steep Slopes Disturbed:	3,103 S.F. (0.07 Ac.)
-Temporary Disturbance:	3,103 S.F. (0.07 Ac.)
-Permanent Disturbance:	0 S.F. (0.00 Ac.)
• Developed Woodland: (Pre-Violation 2020)	
-Existing Canopy On Site:	48,563 S.F. (1.11 Ac.)
-Allowable Canopy Disturbance (30%):	14,569 S.F. (0.33 Ac.)
-Proposed Canopy Disturbance (8%):	3,795 S.F. (0.09 Ac.)
• Site Zoning: R1	
-R1 Setbacks:	Front=35'; Rear=30'; Sides=15'; Corner Sides=35'

LEGEND	
	Existing Contour
	Existing Woods Line
	Existing fence Line
	Existing Power Pole
	Existing Overhead Electric Line
	100' Tidal Water Line
	Expanded Buffer
	Non-Tidal Wetlands
	25' Non-Tidal Wetlands Buffer
	FEMA Floodline
	Limit of Disturbance
	Limit of Disturbance / Reinforced Silt Fence
	Existing Lot Coverage
	Existing 15% Steep Slopes
	Existing 25' Steep Slope Buffer

NATURE OF VARIANCE

-Requesting a variance to **Article 17, Section 8-201(a)** of the Anne County Code for development on slopes 15% or greater in the LDA.

-Requesting a variance to "perfect" or allow the construction of an enclosed carport and a new deck without receiving the necessary approval.

DESIGNED: _____ ORIG. DATE: 8/26/2025 MODIFIED BY/DATE: _____ CADD DWG # BC11025-V DLA PROJECT # BC11025	DESIGNED: GDM DRAWN: GDM	REVISIONS TO APPROVED PLANS		Drum, Loyka & Associates, LLC CIVIL ENGINEERS - LAND SURVEYORS 1410 Forest Drive, Suite 35 Annapolis, Maryland 21403 Phone: 410-280-3122 www.drumloyka.com info@drumloyka.com	*Professional Certification, I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland, license no. _____ expiration date: _____	CLIENT SAAR & APRIL COHEN 1552 PARK LANE PASADENA, MARYLAND 21122 502-340-8998 SAARCOHEN202@GMAIL.COM	VARIANCE SITE PLAN VARIANCE PLAN BODKIN PLAINS ~ LOT 1AR 1552 PARK LANE, PASADENA, MARYLAND 21122 TAX ACCT. NO. 03-130-12787600 TAX MAP 18 GRID 20 PARCEL 78 DISTRICT 3RD ANNE ARUNDEL COUNTY, MARYLAND		
No.	DATE	BY	DESCRIPTION						
© Drum, Loyka & Associates, LLC These drawings are the property of Drum, Loyka & Associates, LLC. Unauthorized reproduction for any purpose is not permitted and is an infringement upon copyright laws. Violators will be subject to prosecution to the fullest extent of the law.		SCALE: 1"=30'		DATE: 10/9/2025	PROJ. NO: BC11025	SHEET 1 OF 3			

PLANTING NOTES— REFORESTATION
GENERAL:

1. All planting shall be performed by a Landscape Contractor with a minimum of 5 years experience planting in similar conditions.
2. All Planting practices shall conform to 'State Forest Conservation Technical Manual' specifications.
3. Planting shall be performed in the periods between March 1 and June 1 or September 15 and November 15.
4. All plants shall be full-formed, with a shape consistent with the species and conform to the standards as set forth in the current edition of 'American Nursery Standards'.
5. Any substitutions required due to lack of availability must be approved by the Anne Arundel County prior to the commencement of any planting operations.
6. All plants shall be certified free of pest and diseases. Supply delivery tickets for all plants to be used to Landscape Architect. Contact Landscape Architect a minimum of 7 working days prior to planting. All plant material to be inspected prior to planting. Any plant material rejected shall be removed from site and replaced by the contractor at no additional cost.
7. All plants shall be nursery grown. No field collected plants may be used.
8. All container & "deep root" or tubeling-grown stock shall be firmly rooted in. Ball and burlap or wire basket material shall have a firmly attached root ball.
9. Place plants as shown on plan over entire planting area prior to digging. Avoid disturbance of exiting tree roots and field adjust plant locations as necessary to avoid conflicts.
10. All plants shall be watered during storage and protected from drying winds and shaded to prevent sunscald.
11. Plant according to Details, this sheet and in accordance with the above-mentioned State Forest Conservation Technical Manual.
12. Provide 'REPEL-X' tablets, or equivalent, and slow-release low phosphorus fertilizer in each planting pit in accordance with manufacturers' specifications.
13. All water for initial planting and subsequent maintenance period shall be provided by Contractor.
14. Site shall be left free of any excess material or debris after planting operations are completed. Any disturbances to soils surfaces shall be repaired and mulched.
15. Any surfaces damaged by Contractor shall be repaired as necessary and to the satisfaction of the OWner/Developer.
16. The Contractor is responsible for repairing or replacing any property damaged by the Contractors operations. Repairs shall take place in a timely fashion and to the satisfaction of the Client / Developer.

CONTAINER AND B&B:

1. Fill planting pit to about 2/3rds full with prepared planting soil and compost, (where required), Tamp firmly and water thoroughly.
2. After filling planting pit to final grade, water thoroughly, then install a minimum 2" depth and maximum 3inch depth of aged, shredded hardwood bark mulch. See Details.

WARRANTY:

1. A survival rate of 100% for 2" tree stock, 100% for shrubs & 85% for whips shall be guaranteed by the contractor for a two year period following the completion and acceptance of all planting operations.

MAINTENANCE:

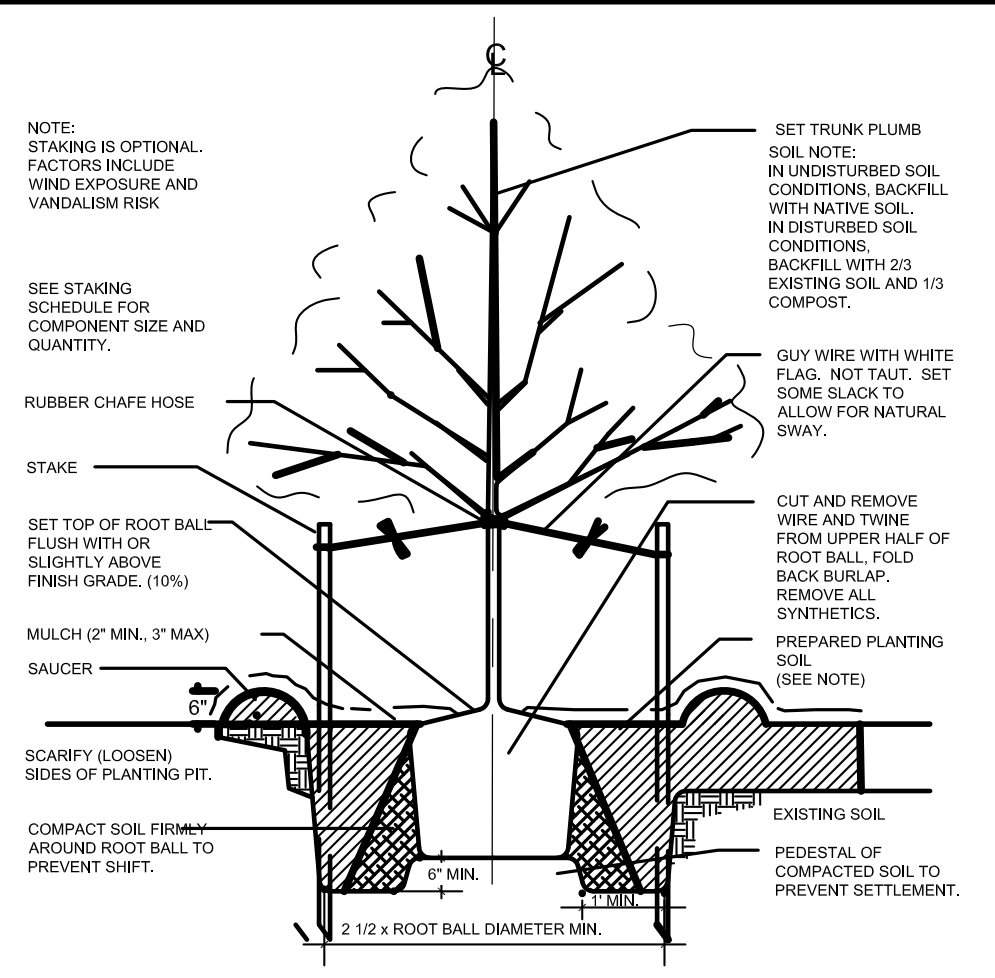
1. Contractor is responsible for watering as necessary to ensure survival of plantings.
2. Annual inspections shall be scheduled by the Contractor with the Client / Developer to determine condition of plants.
3. Invasive vines and weeds shall be removed once annually from plants.
4. Plants with 25% of the crown dead shall be considered dead and be replaced in kind.
5. Survival rate shall be determined during annual inspections and in-kind replacements made as necessary within 30 days.

MANAGEMENT:

1. Install tree shelters or tubes in areas of heavy deer or rabbit populations.
2. Control invasive and noxious species using hand methods and leaving the soil surface undisturbed. Vines should not be allowed to grow within the forest conservation area. Mow at a height of 4 –6" once in spring and once in fall for the first three years to aid in this control until the trees have grown to the point of shading the surface.
3. Aged, composted, wood chips to a depth of 3" may be placed over the area to aid in control. These shall not be placed over any plant crown or tree flare.
4. The reforestation area shall be allowed to regenerate into forest after the area has started to become shaded and the invasive vines are under control, with woody shrubs and sapling trees being allowed to thrive.

IRRIGATION

1. No permanent irrigation system is included in these plans. Temporary irrigation should be provided. This can include, but not be limited to, soaker hose, 'gator' bags or other temporary water infiltration devices. The contractor shall instruct the owner in their use. Maintnance inspections shall be required to ensure that no damage is being caused to the plantings from poorly secured or the deteriorating condition of there devices through the warranty period.



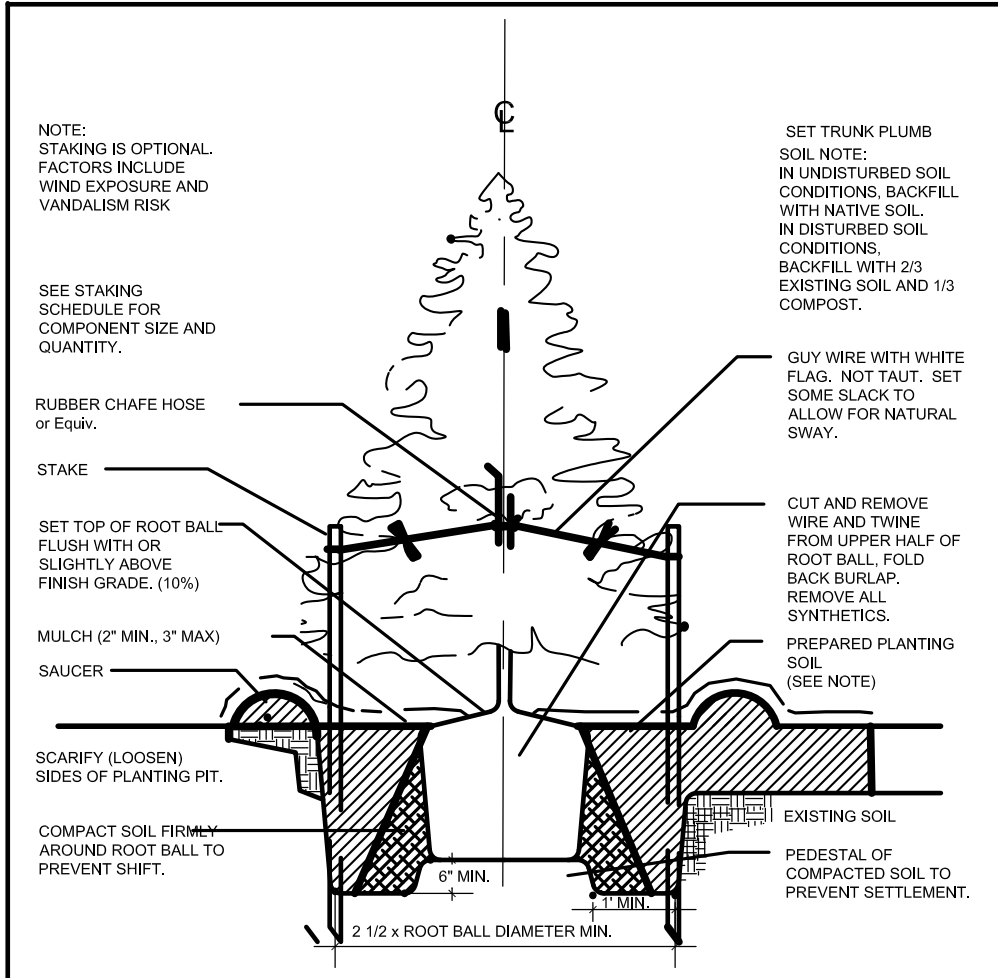
DETAIL - DECIDUOUS TREE PLANTING - REFORESTATION
PLANTING PIT or PLANTING BED
NOT TO SCALE
D. SCHWAB

Tree Size	Stake Q'ty	Stake Size	Wire Size
6-10' or 1-2" caliper	2	2"x2"x6' min.	14 gauge
10-12' or 2-2 1/2" caliper	2	2"x2"x8' min.	14 gauge
12-16' or 2 1/2"-4" caliper	3 deadmen	24" min.	12 gauge
16 - 20' or 4-6" caliper	3 deadmen	30" min.	14 gauge
over 20' or over 6" caliper	3 deadmen	30" min.	1/4" with turnbuckles

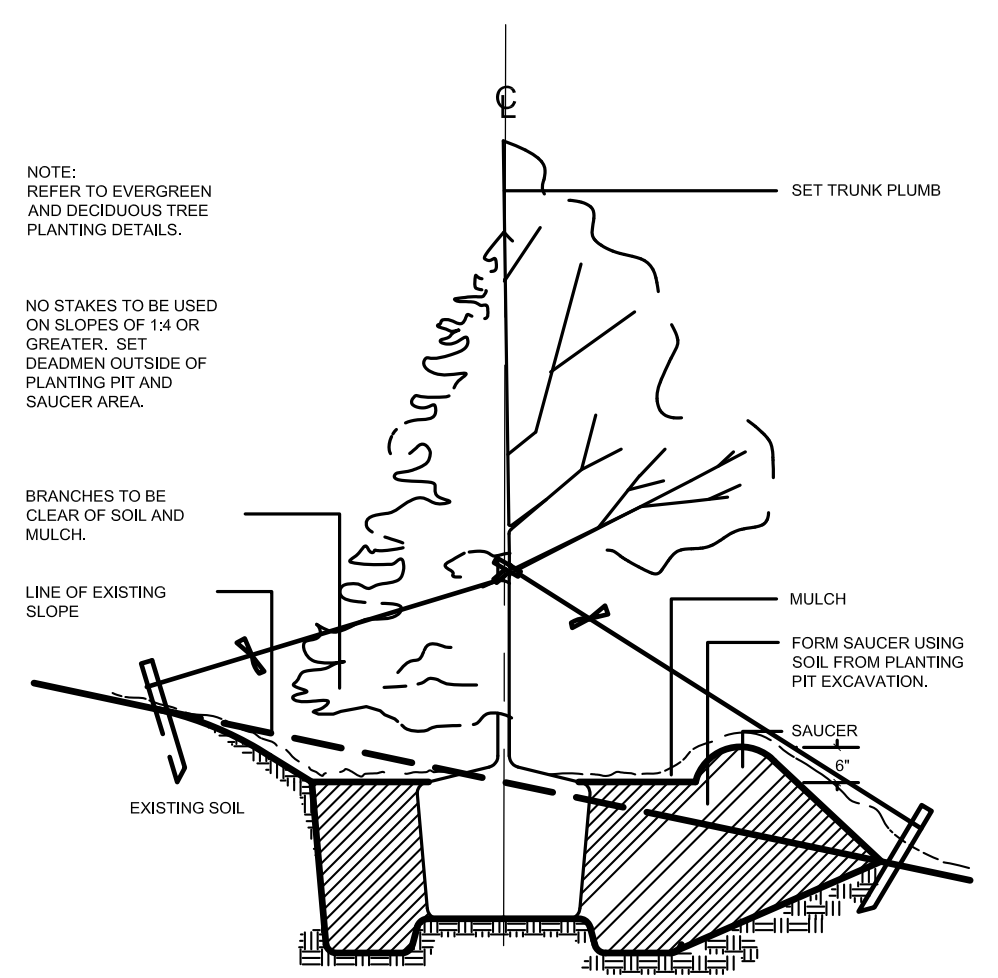
TREE STAKING SCHEDULE

TREE STAKING NOTES:

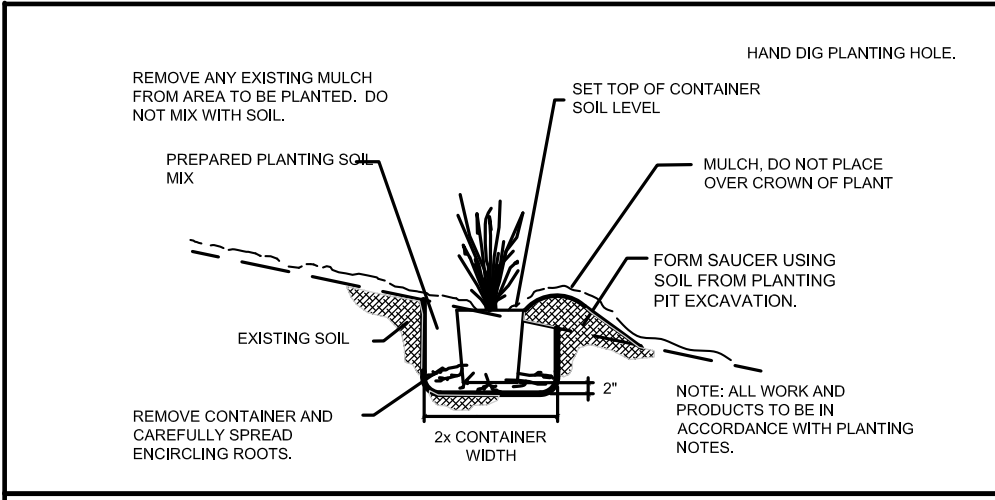
1. Tree staking shall be installed in areas of high wind, slopes and potential vandalism. Staking shall be monitored and reset & repaired to prevent damage to tree trunks & branches. All tree stakes shall be removed at end of warranty period.



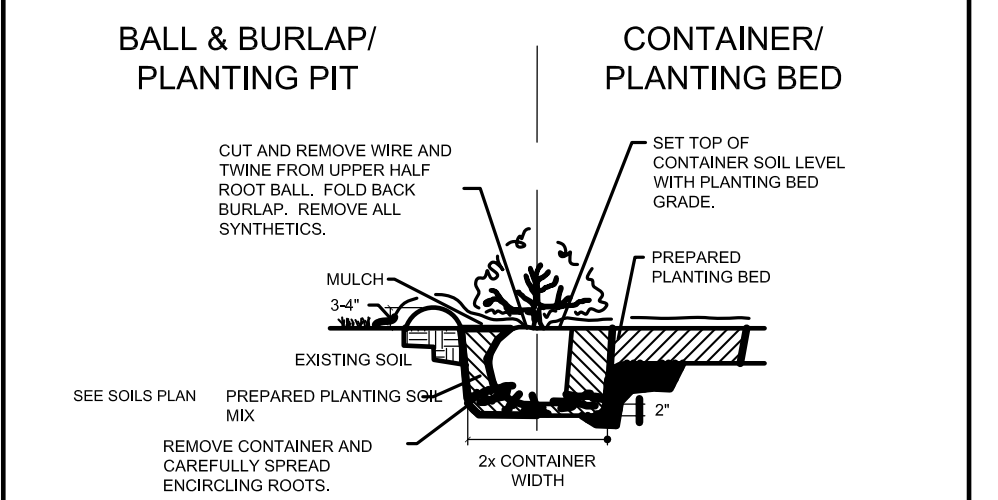
DETAIL - EVERGREEN TREE PLANTING - REFORESTATION
PLANTING PIT
NOT TO SCALE
D. SCHWAB



DETAIL - REFORESTATION TREE PLANTING ON SLOPE
NOT TO SCALE
D. SCHWAB



DETAIL - PERENNIAL / GRASS PLANTING
NOT TO SCALE



DETAIL - SHRUB PLANTING
NOT TO SCALE

GENERAL NOTES:

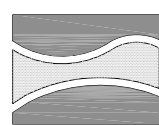
1. Check location of all underground utilities. Call "MISS UTILITY" at 1-800-257-7777 at least 5 days prior to any excavation.
2. Contractor is required to carry any/all Workman's Compensation and other liability insurances as required by the General Contractor / Owner.
3. Contractor is required to comply with any/all codes, regulations and ordinances that apply to the work performed on this project.
4. Contractor shall co-ordinate the execution of all work performed with the General Contractor / Owner and shall complete all work in a timely fashion.
5. General Contractor / Owner is responsible for obtaining site permits and paying applicable fees unless otherwise specified.
6. All clearing, grubbing, rough and fine grading, installation and maintenance of erosion control devices, sodding and seeding are separate operations and not included in this Landscape Plan. Except as specifically stated or in areas to be landscaped, all disturbed areas shall be sodded or seeded per Grading or Erosion Control Plan by others.
7. These plans are to be used for landscape purposes only.
8. If stockpile areas are required on-site, locations will be designated by the General Contractor / Owner.

NO.	REVISIONS	BY	DATE



DEBORAH SCHWAB
LANDSCAPE ARCHITECTURE

409 Washington Street
Annapolis, MD 21403
PH: 410 268 5291 Email: dschwabla@comcast.net



Drum, Loyka & Associates, LLC
CIVIL ENGINEERS - LAND SURVEYORS

1410 Forest Drive, Suite 35
Annapolis, Maryland 21403
Phone: 410-280-3122 - Fax: 410-280-1952
www.drumloyka.com

OWNER:

SAAR & APRIL COHEN
1552 PARK LANE
PASADENA, MD 21122

DATE: OCTOBER, 2025
SCALE: SHOWN
DRAWN BY: ds
CHECKED BY: DMS
JOB NO: 2025-031(DMS)

CRITICAL AREA BUFFER MAN. PLAN
COHEN RESIDENCE
BODKINS PLAIN - LOT 1R
1552 PARK LANE, PASADENA, MARYLAND 21122
TAX ACCOUNT NO. 03-130-12797600
TAX MAP 18 GRID 20 PARCEL 78 DISTRICT 3rd
ANNE ARUNDEL COUNTY, MARYLAND

SHEET NO

L2

SHEET 1 OF 2

October 15, 2025 (**Rev. 10/24/25**)

Mr. Donnie Dyott
Office of Planning and Zoning
2664 Riva Road, 3rd Floor
Annapolis, MD 21401

Re: Bodkin Plains Lot 1AR
Variance Application submittal
1552 Park Lane Pasadena, MD. 21122
Tax Map 18, Grid 20, Parcel 78
Violation #'s (**B-2024-707/E-2020-711**)

Dear Mr. Dyott:

This is a formal **Variance Application** submittal to address a violation established October 7th, 2020 of grading and clearing of woody vegetation within the initial 100-foot buffer resulting in disturbance of 4,979 sq. ft. as well as construction of an enclosed carport and a new deck without the required construction, grading and sediment control, stormwater management, well and septic, and zoning authorizations required by Article 15, Section 2-101.105.1, Article 16, Section 3-201, Section 4-201, Article 17 and Article 18, respectively for the above referenced property. Based on an initial review via Grading Permit #G02019274 submitted by the previous owner in February, 2022, a variance to **Article 17-8-201(a)** to disturb 15% and greater slopes and a variance to “perfect” or allow the construction of an enclosed carport and a new deck without receiving the necessary approval are necessary. The Grading Permit has since been canceled as the current owner would need to process a new permit under their name. The steep slopes currently existing have been accurately depicted based on recent field run topography. No construction is associated with the specific variance request.

The property is an existing legal building site fronting Bodkin Creek, approximately 600-feet northwest of Bodkin Avenue, is located entirely within the (LDA) Limited Development Area Designation of the Critical Area and is Buffer Modified. The property is 60,384 sq. ft. or 1.39 acres, is zoned R-1 Residential, has an existing well, private septic system to remain, a small area of Non-Tidal Wetlands and the associated 25-foot buffer. A portion of the property is located on the south side of Park Lane where the existing septic system is located. The site includes woody vegetation, a single-family home, detached shed, wood decking, concrete walk, riparian access to the water and a pier to remain.

Code Article 18-16-305

(b) Requirements for Critical Area Variances.

(1) Unwarranted Hardship and Practical Difficulty- the previous property owner graded and cleared woody vegetation and disturbed steep slopes of 15% and greater within the initial 100-foot buffer resulting in disturbance of 4,979 sq. ft. The new owner did not participate or have initial knowledge of this violation but must address the existing conditions based on being the new owner of record.

- (2) Deprive the applicant of rights commonly enjoyed by other properties- The current owner was not afforded the opportunity to avoid clearing or disturbing steep slopes and is not proposing any structures associated with this variance request.
- (3) Will not confer special privilege - granting this variance would not confer a special privilege to the applicants. The area of disturbance within the 100-foot buffer will result in establishing a buffer management plan to address 3:1 mitigation and stabilize the disturbance to 15% steep slopes.
- (4) Actions by Applicants and Neighbors- The variance is not based on conditions or circumstances that are the result of actions by the applicants or conditions or use on neighboring properties- conditions and circumstances are based on the fact that the previous owner was in violation prior to selling the property. The new owner must address the existing violations
- (5) Water Quality, Intent of the Critical Area Program. The requested variances will not adversely affect water quality, impact fish, and wildlife or plant habitat and be in harmony with the critical area program as a buffer management plan will be completed to establish plant material within the 100-foot buffer, assisting to stabilize the existing slope condition and address the violation.
- (6) Presumption Sec 8-1808(d)(2)(ii) – The applicants have overcome the presumption that the use for which the variance is requested is not in conformity with the purpose and intent of the Critical Area Program. The existing violation must be addressed prior to moving forward with additional permitting for principal structure improvements covered under a separate violation.

(c) Requirements for all variances.

1. Minimum necessary to afford relief - The proposed variances allow for modest uses that not only meets the “significant and reasonable standard” but also are the minimal necessary development to afford relief. Disturbance to the 15% steep slopes and the mitigation plantings required in the same area, is the minimum necessary to re-establish the 100-foot buffer’s vegetation and stabilization of the existing steep slopes.
2. The granting of the variance will not:
 - i. alter the essential character of the neighborhood, and all proposed development will be harmonious with the architectural styles and scale of the surrounding area.
 - ii. substantially impair the appropriate use or development of adjacent properties.
 - iii. reduce forest cover in the LDA. Vegetative clearing will be mitigated appropriately during the permit process with a Buffer Management Plan.
 - iv. be contrary to acceptable clearing or replanting practices required for development of the Critical Area or Bog Protection Area. Clearing was performed by the previous owner, and the property is not located within a Bog Protection Area.
 - v. be detrimental to the public welfare as completion of a buffer management plan will not impose harm to adjacent property owners or the public.

Denial of the requested variances and a strict implementation of the County's Zoning and Critical Area Program would constitute an unwarranted hardship and practical difficulty on the applicant and deprive them of the same rights and privileges others enjoy in the immediate neighborhood along the waterfront side of Bodkin Creek.

Sincerely,
DRUM, LOYKA AND ASSOCIATES, LLC



Robert Baxter
Project Manager

Cc: Sarr & April Cohen

After Recording Return to:
CLA Title & Escrow
9210 Corporate Boulevard
Suite 150
Rockville, MD 20850

Anne Arundel Cty Cir Crt
IMP FD SURE \$40.00
RECORDING FEE \$20.00
TR TAX STATE \$2,175.00
TOTAL \$2,235.00
SAP WO
Sep 23, 2024 03:34 pm

Property Address:
1552 Park Lane
Pasadena, MD 21122
Tax ID # 03-130-12787600

Title Insurance: Fidelity National Title Insurance Company

This Deed, made this 13th day of September, 2024 by and between Darla Grese and Shelaine Grese, parties of the first part, Grantors; and Saar Cohen and April Cohen, as tenants by the entirety, parties of the second part, Grantees.

- **Witnesseth** -

That for and in consideration of the sum of **EIGHT HUNDRED SEVENTY THOUSAND AND 00/100 DOLLARS (\$870,000.00)**, which includes the amount of any outstanding Mortgage or Deed of Trust, if any, the receipt whereof is hereby acknowledged, the said Grantors do grant and convey to the said Saar Cohen and April Cohen, as tenants by the entirety, their assigns, the survivor of them and the survivor's heirs, personal representatives and assigns, in fee simple, all that lot of ground situate in the County of Anne Arundel, State of Maryland and described as follows, that is to say:

(SEE ATTACHED EXHIBIT A)

SUBJECT TO any and all covenants, easements, plat restrictions, agreements, and other restrictions of record.

Together with the buildings and improvements thereon erected, made or being; and all and every, the rights, alleys, ways, waters, privileges, appurtenances and advantages thereto belonging, or in anywise appertaining.


To Have and To Hold the said tract of ground and premises above described and mentioned, and hereby intended to be conveyed, together with the rights, privileges, appurtenances and advantages thereto belonging or appertaining unto and to the proper use and benefit of the said Saar Cohen and April Cohen, as tenants by the entirety, their assigns, the survivor of them and the survivor's heirs, personal representatives and assigns, in fee simple.

And the said parties of the first part hereby covenant that they have not done or suffered to be done any act, matter or thing whatsoever, to encumber the property hereby conveyed; that they will warrant specially the property hereby granted; and that they will execute such further assurances of the same as may be requisite.

Semi-Annual Payments
09-23-2024 LO

ACCT. 03-130-12787600
ALL REQUIRED LIENS ARE PAID
AS OF 09-23-2024 A.A. COUNTY
BY: LO


As **Witness** the hands and seals of said Grantors, the day and year first above written.

Darla Grese  (SEAL)
Darla Grese


STATE OF VIRGINIA
COUNTY OF CULPEPER, to wit:

I hereby certify that on the 12th day of September, 2024, before me, the subscriber, a Notary Public of the State of VIRGINIA, in and for the County aforesaid, personally appeared Darla Grese, known to me or satisfactorily proven to be the person whose name is subscribed to the within instrument and made oath in due form of law that the matters and facts set forth herein are true.

As witness, my hand and notarial seal.

James Lee 
Signature of Notary Public

My Commission Expires: **09/30/2025**



James Lee
Electronic Notary Public
Commonwealth of Virginia
Reg # 364683
Expiration date: September 30,2025

Online Notary Public. This notarial act involved the use of online audio/video communication technology. Notarization facilitated by SIGNIX®

Shelaine Grese
Shelaine Grese



STATE OF VIRGINIA
COUNTY OF FAIRFAX, to wit:

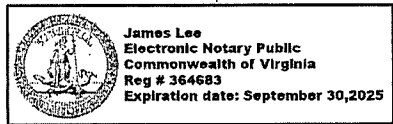
I hereby certify that on the 12th day of September, 2024, before me, the subscriber, a Notary Public of the State of VIRGINIA, in and for the County aforesaid, personally appeared Shelaine Grese, known to me or satisfactorily proven to be the person whose name is subscribed to the within instrument and made oath in due form of law that the matters and facts set forth herein are true.

As witness, my hand and notarial seal.

James Lee
Signature of Notary Public



My Commission Expires: **09/30/2025**



Online Notary Public. This notarial act involved the use of online audio/video communication technology. Notarization facilitated by SIGNIX®

THIS IS TO CERTIFY that the within Deed was prepared by, or under the supervision of the undersigned, an Attorney duly admitted to practice before the Court of Appeals of Maryland.

Joel L. Steinberg, Esq. (SEAL)

ANNE ARUNDEL COUNTY CIRCUIT COURT (Land Records) SAP 40749, p. 0475, MSA_CE59_41191. Date available 09/25/2024. Printed 05/28/2025.

EXHIBIT A

ALL that certain lot, parcel or tract of land, situate and lying in the County of Anne Arundel, State of Maryland, and being more particularly described as follows:

Being known and designated as Lot No. 1AR, a Subdivision of BODKINS PLAINS, as the same is shown on the Plat of a Subdivision of Bodkin Plains, which said Plat is recorded among the Plat Records of Anne Arundel County in Plat Book No. 211, page 35.

FOR INFORMATIONAL PURPOSES ONLY:

Property Address: 1552 Park Lane, Pasadena, MD 21122

Tax ID: 03-130-12787600

Being the same property which by deed dated July 27, 2020, and recorded among the Land Records of Anne Arundel County, Maryland on August 3, 2020, in Liber 34984, in Folio 174, was granted and conveyed by James L. Leef and Mary F. Leef unto Darla Grese and Shelaine Grese, as Tenants by the Entirety.

Maryland
FORM
WH-AR

Certification of Exemption from Withholding Upon
Disposition of Maryland Real Estate Affidavit of
Residence or Principal Residence

2024

Based on the certification below, Transferor claims exemption from the tax withholding requirements of §10-912 of the Tax-General Article, Annotated Code of Maryland. Section 10-912 provides that certain tax payments must be withheld and paid when a deed or other instrument that effects a change

in ownership of real property is presented for recordation. The requirements of §10-912 do not apply when a transferor provides a certification of Maryland residence or certification that the transferred property is the transferor's principal residence.

1. Transferor Information

Name of Transferor Shelaine Grese

2. Description of Property (Street address. If no address is available, include county, district, subdistrict and lot numbers).

1552 Park Lane, Pasadena, MD 21122

3. Reasons for Exemption

- Resident Status

☒ As of the date this form is signed, I, Transferor, am a resident of the State of Maryland.
- ☐ Transferor is a resident entity as defined in Code of Maryland Regulations (COMAR)03.04.12.02B(11), I am an agent of Transferor, and I have authority to sign this document on Transferor's behalf.
- Principal Residence

☐ Although I am no longer a resident of the State of Maryland, the Property is my principal residence as defined in IRC 121 (principal residence for 2 (two) of the last 5 (five) years) and is currently recorded as such with the State Department of Assessments and Taxation.


Under penalty of perjury, I certify that I have examined this declaration and that, to the best of my knowledge, it is true, correct, and complete.

3a. Individual Transferors

James Lee

Witness

09/12/2024 10:33 AM EDT




Shelaine Grese

09/12/2024 10:29 AM EDT

Name

Shelaine Grese

Signature



**Date

3b. Entity Transferors

Witness/Attest

Name of Entity

By

Name

**Date

Title

** Form must be dated to be valid.

Note: Form is only valid if it was executed on the date the Property was transferred and is properly recorded with the Clerk of the Court.

To the Clerk of the Court: Only an un-altered Form WH-AR should be considered a valid certification for purposes of Section 10-912.

01/22

Maryland
FORM
WH-AR

Certification of Exemption from Withholding Upon
Disposition of Maryland Real Estate Affidavit of
Residence or Principal Residence

2024

Based on the certification below, Transferor claims exemption from the tax withholding requirements of §10-912 of the Tax-General Article, Annotated Code of Maryland. Section 10-912 provides that certain tax payments must be withheld and paid when a deed or other instrument that effects a change

in ownership of real property is presented for recordation. The requirements of §10-912 do not apply when a transferor provides a certification of Maryland residence or certification that the transferred property is the transferor's principal residence.

1. Transferor Information

Name of Transferor Darla Grese

2. Description of Property (Street address. If no address is available, include county, district, subdistrict and lot numbers).

1552 Park Lane, Pasadena, MD 21122

3. Reasons for Exemption

- Resident Status


☒ As of the date this form is signed, I, Transferor, am a resident of the State of Maryland.
- ☐ Transferor is a resident entity as defined in Code of Maryland Regulations (COMAR)03.04.12.02B(11), I am an agent of Transferor, and I have authority to sign this document on Transferor's behalf.
- Principal Residence

☐ Although I am no longer a resident of the State of Maryland, the Property is my principal residence as defined in IRC 121 (principal residence for 2 (two) of the last 5 (five) years) and is currently recorded as such with the State Department of Assessments and Taxation.

Under penalty of perjury, I certify that I have examined this declaration and that, to the best of my knowledge, it is true, correct, and complete.


3a. Individual Transferors

James Lee
Witness

09/12/2024 03:27 PM EDT


Darla Grese
Name

Darla Grese
Signature

09/12/2024 03:23 PM EDT


**Date

3b. Entity Transferors

Witness/Attest

Name of Entity

By

Name

Title

**Date

** Form must be dated to be valid.

Note: Form is only valid if it was executed on the date the Property was transferred and is properly recorded with the Clerk of the Court.

To the Clerk of the Court: Only an un-altered Form WH-AR should be considered a valid certification for purposes of Section 10-912.

01/22

ANNE ARUNDEL COUNTY CIRCUIT COURT (Land Records) SAP 40749, p. 0478, MSA_CE59_41191. Date available 09/25/2024. Printed 05/28/2025.



CIRCUIT COURT FOR Anne Arundel County, MARYLAND
City/County


Located at _____
Court Address

AFFIDAVIT OF INTENT TO USE ELECTRONIC SIGNATURE
(Md. Code, Real Property Title 3, Subtitle 7)

- 1. I, Shelaine Grese, am over eighteen years of age and competent to testify.
- 2. I have signed the document or documents accompanying this affidavit by means of an electronic signature, which is defined in Md. Code, Real Property § 3-701(E) as an "electronic sound, symbol, or process attached to or logically associated with a document and executed or adopted with the intent to sign the document."
- 3. I have done so with the intent to sign the document.
- 4. My use of the electronic signature was not done for any illegal or fraudulent purposes.

I solemnly declare under the penalties of perjury that the contents of the foregoing paper is true to the best of my knowledge, information, and belief.

09/12/2024 10:27 AM
EDT
Date

Shelaine Grese
Signature of Affiant

Shelaine Grese
Printed Name of Affiant




CIRCUIT COURT FOR Anne Arundel County, MARYLAND
City/County

Located at _____
Court Address

AFFIDAVIT OF INTENT TO USE ELECTRONIC SIGNATURE
(Md. Code, Real Property Title 3, Subtitle 7)

- 1. I, Darla Grese, am over eighteen years of age and competent to testify.
- 2. I have signed the document or documents accompanying this affidavit by means of an electronic signature, which is defined in Md. Code, Real Property § 3-701(E) as an "electronic sound, symbol, or process attached to or logically associated with a document and executed or adopted with the intent to sign the document."
- 3. I have done so with the intent to sign the document.
- 4. My use of the electronic signature was not done for any illegal or fraudulent purposes.

I solemnly declare under the penalties of perjury that the contents of the foregoing paper is true to the best of my knowledge, information, and belief.

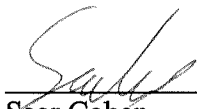
<u>09/12/2024 03:20 PM EDT</u>	<u><i>Darla Grese</i></u> 
Date	Signature of Affiant
	<u>Darla Grese</u>
	Printed Name of Affiant

File #: MD-24-24150


OWNER OCCUPANCY AFFIDAVIT

Saar Cohen and April Cohen, the Grantees in the within Deed hereby certify under the penalties of perjury, as evidenced by the joinder herein, that the land conveyed in this Deed is residentially improved owner-occupied real property and that the residence will be occupied by Saar Cohen and April Cohen at least 7 out of 12 months.

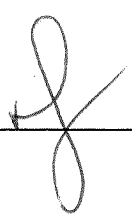
WITNESS:



Saar Cohen (SEAL)



April Cohen (SEAL)

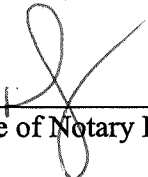


As to All

STATE OF MARYLAND
COUNTY OF MONTGOMERY, to wit:

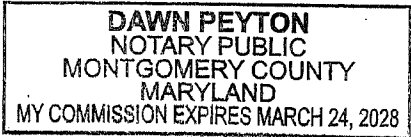
I hereby certify that on the 13th day of September, 2024, before me, the subscriber, a Notary Public of the State of Maryland, in and for the County aforesaid, personally appeared Saar Cohen and April Cohen, known to me or satisfactorily proven to be the persons whose names are subscribed to the within instrument and made oath in due form of law that the matters and facts set forth herein are true.

As witness, my hand and notarial seal.



Signature of Notary Public

My Commission Expires: 3/24/28




**AFFIDAVIT OF GRANTEE AS
FIRST-TIME MARYLAND HOME BUYER**

The undersigned state under oath and penalties of perjury that the following is true to the best of the knowledge, information, and belief of the individuals:

1. The undersigned are Grantees of residentially improved real property located at 1552 Park Lane, Pasadena, MD 21122.
2. The undersigned are first-time Maryland home buyers (defined in §14-104-c(6)(i) as an individual who has never owned in the state residential real property that has been the individual's principal place of residence) who will occupy the property as Grantee's principal residence.



Saar Cohen



April Cohen

Or, the undersigned state under oath and penalties of perjury that the following is true to the best of the knowledge, information, and belief of the individuals:

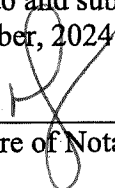
1. The undersigned are Grantees of residentially improved real property located at 1552 Park Lane, Pasadena, MD 21122.
2. The undersigned are co-makers or guarantors of the purchase money mortgage or purchase money deed of trust as defined in §12-108(i) of the Tax Property Article on the property who will not occupy the property as Grantee's principal residence.

Saar Cohen

April Cohen

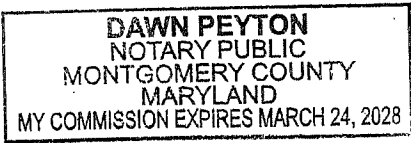
STATE OF MARYLAND
COUNTY OF MONTGOMERY, to wit:

Sworn to and subscribed before me by Saar Cohen and April Cohen on this 13th day of September, 2024.

 (SEAL)

Signature of Notary Public

My Commission Expires: 3/24/28



ANNE ARUNDEL COUNTY CIRCUIT COURT (Land Records) SAP 40749, p. 0483, MSA_CE59_41191. Date available 09/25/2024. Printed 05/28/2025.

BOOK: 40749 PAGE: 483

State of Maryland Land Instrument Intake Sheet

☐ Baltimore City

☒ County: Anne Arundel

Information provided is for the use of the Clerk's Office, State Department of Assessments and Taxation, and County Finance Office Only.

(Type or Print in Black Ink Only—All Copies Must Be Legible)

1

Type(s) of Instruments

☐ Check Box if addendum Intake Form is Attached.)

☒ Deed

☒ Deed of Trust

☐ Mortgage Lease

☐ Other

☐ Other

☐ Other

2

Conveyance Type Check Box

☒ Improved Sale Arms-Length [1]

☐ Unimproved Sale Arms-Length [2]

☐ Multiple Accounts Arms-Length [3]

☐ Not an Arms-Length Sale [9]

3

Tax Exemptions (if applicable)

Cite or Explain Authority

Recordation

State Transfer

County Transfer

4

Consideration and Tax Calculations

Consideration Amount

Purchase Price/Consideration\$ 870,000.00

Any New Mortgage\$ 696,000.00

Balance of Existing Mortgage\$

Other:\$

Other:\$

Full Cash Value:\$

Finance Office Use Only

Transfer and Recordation Tax Consideration

Transfer Tax Consideration\$

X () % = \$

Less Exemption Amount = \$

Total Transfer Tax = \$

Recordation Tax Consideration\$

X () per \$500 = \$

TOTAL DUE\$

5

Fees

Amount of Fees

Doc. 1

Doc. 2

Recording Charge\$ 60.00

Surcharge\$

State Recordation Tax\$ 6,090.00

State Transfer Tax\$ 2,175.00

County Transfer Tax\$ 8,700.00

Other\$

Other\$

Agent:

Tax Bill:

C.B. Credit:

Ag. Tax/Other:

6

Description of Property

SDAT requires submission of all applicable information. A maximum of 40 characters will be indexed in accordance with the priority cited in Real Property Article Section 3-104(g)(3)(i).

District

Property Tax ID No. (1)

Grantor Liber/Folio

Map

Parcel No.

Var. LOG

03-130-12787600

34984 174

☐ (5)

Subdivision Name

Lot (3a)

Block (3b)

Sect/AR (3c)

Plat Ref.

SqFt/Acreage (4)

BODKINS PLAINS

1ar

Location/Address of Property Being Conveyed (2)

1552 Park Lane, Pasadena, MD 21122

Other Property Identifiers (if applicable)

Water Meter Account No.

Residential☒ or Non-Residential☐

Fee Simple☒ or Ground Rent☐ Amount:

Partial Conveyance? ☐ Yes ☒ No

Description/Amt. of SqFt/ Acreage Transferred:

If Partial Conveyance, List Improvements Conveyed:

7

Transferred From

Doc. 1 – Grantor(s) Name(s)

Doc. 2 – Grantor(s) Name(s)

Darla Grese and Shelaine Grese

Saar Cohen and April Cohen

Doc. 1 – Owner(s) of Record, if Different from Grantor(s)

Doc. 2 – Owner(s) of Record, if Different from Grantor(s)

8

Transferred To

Doc. 1 – Grantee(s) Name(s)

Doc. 2 – Grantee(s) Name(s)

Saar Cohen and April Cohen

Trustee - Brian J Evans

New Owner's (Grantee) Mailing Address

1552 Park Lane, Pasadena, MD 21122

9

Other Names to Be Indexed

Doc. 1 – Additional Names to be Indexed (Optional)

Doc. 2 – Additional Names to be Indexed (Optional)

Prosperity Home Mortgage, LLC

10

Contact/Mail Information

Instrument Submitted By or Contact Person

Name: Post Closing Department

Firm CLA Title & Escrow

Address: 9210 Corporate Boulevard, Suite. 150

Rockville, MD 20850

Phone: (888) 924-9008

☒ Return to Contact Person

☐ Hold for Pickup

☐ Return Address Provided

11

Assessment Information

IMPORTANT: BOTH THE ORIGINAL DEED AND A PHOTOCOPY MUST ACCOMPANY EACH TRANSFER

Yes

No

Will the property being conveyed be the grantee's principal residence?

Yes

No

Does transfer include personal property? If yes, identify:

Yes

No

Was property surveyed? If yes, attach copy of survey (if recorded, no copy required).

Assessment Use Only – Do Not Write Below This Line

Terminal Verification

Agricultural Verification

Whole

Part

Tran. Process Verification

Transfer Number

Date Received:

Deed Reference:

Assigned Property No.:

Year

20

20

Geo.

Map

Sub

Block

Land

Zoning

Grid

Plat

Lot

Buildings

Use

Parcel

Section

Occ. Cd.

Total

Town Cd.

Ex. St.

Ex. Cd.

REMARKS:

Space Reserved for County Validation

Space Reserved for Circuit Court Clerk Recording Validation

Distribution: White – Clerk's Office
Pink – Office of Finance

Canary – SDAT
Goldenrod – Preparer

AOC-CC-300 (5/2007)
Order Number: MD-24-24150

Chesapeake Bay Critical Area Report

Bodkin Plains ~ Lot 1AR

Tax Map 18, Grid 20, Parcel 78

Tax Account No. 03-130-12787600

Property Address: 1552 Park Lane
Pasadena, Maryland 21122

Property Owner & Variance Applicant: Saar Cohen

Critical Area Designation: LDA **Zoning:** R-1 **Lot Area:** 1.39Ac.

Site Description

The subject property is located off Park Lane in the Bodkin Plains Subdivision, is irregular in shape which is divided by the Park Lane Right of Way bed, is a legal building parcel consisting of approximately 1.39 acres in area and is currently improved with a single-family dwelling which is proposed to remain. The property has a zoning designation of R-1 and is located entirely within the Limited Development Area designation of the Chesapeake Bay Critical Area. The site is currently served by private well and septic system. There are several hardships and practical difficulties regarding the redevelopment of the subject property. A large portion of the site is within the 100-ft buffer to tidal waters which encumber 8,765 sq. ft. or 14.51% of the total lot area. The "platted" expanded buffer encumbers an additional 9,355 sq. ft. or 15.49% of the total lot area. Additionally, there is a pocket of Platted Non-Tidal wetlands and the associated 25-ft buffer on site which cover, 5,230 sq. ft. or 8.66% of the total site area. Lastly, the steep slopes of 15% or greater cover 8,472 sq. ft. or 14.03% of the total lot area. The unimproved portion of the site is vegetated with numerous hardwood & evergreens trees and understory growth. The site is in a Buffer Modified area.

Description and Purpose of Variance Request

The current owners have to address a violation established on October 7th, 2020 of grading and clearing of woody vegetation within the initial 100-foot buffer resulting in disturbance of 4,979 sq. ft. for the above referenced property. Therefore, the mitigation plantings require a variance to **Article 17, Section 8-201(a)** of the Anne Arundel County Code for disturbance and development of slopes 15% or greater in the LDA.

Vegetative Coverage and Clearing

This property is vegetatively stabilized with developed woodland, including a variety of mature hardwood trees, a creeping ivy groundcover common to the community of Bodkin Plains. The Pre-Violation on-site wooded area totaled roughly 48,563 s.f. (0.69 Ac.). Approximately 3,795 s.f. of canopy was disturbed as a result of violation #E-2020-711. Reforestation requirements for this property will be addressed during the grading permit phase of this project in accordance with code requirements.

Lot Coverage

The site currently has 6,821 s.f. (0.16 Ac.) of impervious coverage. The proposed impervious area for this property is 6,821 s.f. (0.16 Ac.), which is s.f. below the 9,038 s.f. of allowable lot coverage for this site.

Buffers

The site is located along Bodkin Creek and is designated as a Buffer Modified Area. 15% and greater steep slopes are present along all the shoreline and extend beyond the 100-ft to tidal waters. Within and adjacent to the property lies a pocket of non-tidal wetlands and their associated 25-ft Buffer. The clearing of woody vegetation and impacts to steep slopes are the subject of the variance resulting in a total of 4,979 square feet of buffer and steep slope disturbance all of which is considered temporary disturbance. Majority of waterfront portions of the property are encumbered by buffers.

Steep Slopes (slopes > 15%)

The site has approximately 8,472 s.f. of steep slopes and the associated 25-foot buffer covers 1,723 s.f. totaling 10,195 s.f. or 16.88% of the site area. Approximately 3,103 s.f. (0.07 Ac.) of the steep slopes 15% or greater were disturbed during the unpermitted clearing. Of that disturbance, 0 s.f. of disturbance is proposed permanent disturbance. The entire 3,103 s.f. of disturbance is temporary disturbance. Disturbance of these slopes was unavoidable as a large portion of the site is encumbered by them, the proposed will be planted to maximize stabilization of the slopes to satisfy the violation.

Predominant Soils

The predominant soil type is Patapsco-Evesboro-Fort Mott complex, 0 to 5 percent slopes (PeB). This soil has a type "A" hydrologic classification and is not a hydric soil (soils characteristic of wetlands).

FEMA Floodplain

The subject property appears on FEMA Firm panel no. 24003C0176F. The property is in floodplain Zone AE with a base flood elevation of 6.0-ft (NAVD88). Approximately 57 s.f. of this area was temporarily disturbed as a result of the aforementioned violation.

Drainage and Rainwater Control

There does not appear to be any existing stormwater management on site. The drainage patterns remain relatively unchanged from the pre-development conditions. Stormwater management will be addressed during the permitting process in accordance with code requirements. Sediment and Erosion control is achieved through perimeter control of silt fence. In the post development condition, the development will have no adverse effect on the sensitive environmental features of the site and surrounding areas and site disturbance will be mitigated onsite per the Mitigation Planting and Buffer Management plan during the permitting process in order to meet Anne Arundel County and MDE design criteria.

Conclusions – Variance Standards

The applicant proposes to address the existing violations E-2024-377 and B-2024-557. The need for the requested Critical Area Variance arises from the existing unique nature and constraints of this property, specifically the irregular shape of the lot, and the illegal clearing being executed by the previous owners. To deny the requested variance would deprive the applicant the opportunity to address the existing violation. With the implementation of mitigation planting, and sediment and erosion control practices, the development will not cause adverse impacts to fish, wildlife, or water quality in the Critical Area.

Reference:

ADC: The Map People, 2002 Anne Arundel County, Maryland, Street Map Book

Anne Arundel County Office of Planning & Zoning , 2007 Critical Area Map

Anne Arundel County Office of Planning & Zoning, 2007 Buffer Exemption Map

Anne Arundel County, Maryland; Chesapeake Bay Critical Area Mapping Program, 2007, Critical Area Map

Federal Emergency Management Agency , 2016. Flood Insurance Rate Map

First American Real Estate Solutions, 2002, Realty Atlas: Anne Arundel County Maryland

Drum, Loyka and Associates LLC, 2025 Variance Plan

U.S. Department of Agriculture, Natural Resource Conservation Service –2016 Soil Survey of Anne Arundel County Maryland.

CRITICAL AREA COMMISSION
FOR THE CHESAPEAKE AND ATLANTIC COASTAL BAYS
1804 WEST STREET, SUITE 100
ANNAPOLIS, MD 21401

PROJECT NOTIFICATION APPLICATION

GENERAL PROJECT INFORMATION

Jurisdiction: Anne Arundel County Date October 15, 2025

Tax Map #	Parcel #	Block #	Lot #	Section
18	78	20	1	1AR

FOR RESUBMITTAL ONLY

Corrections ☐
Redesign ☐
No Change ☐
Non-Critical Area ☐

* Complete only Page 1
General Project Information

Tax ID 3-130-12787600

Project Name (site name, subdivision name, or other) Bodkin Plains Lot 1AR

Project location/Address 1552 Park Lane

City Pasadena, MD. Zip 21122

Local case number

Applicant: Last name Cohen First name Saar

Company N/A

Application Type (check all that apply):

Building Permit	<input type="checkbox"/>	Variance	<input checked="" type="checkbox"/>
Buffer Management Plan	<input checked="" type="checkbox"/>	Rezoning	<input type="checkbox"/>
Conditional Use	<input type="checkbox"/>	Site Plan	<input type="checkbox"/>
Consistency Report	<input type="checkbox"/>	Special Exception	<input type="checkbox"/>
Disturbance > 5,000 sq ft	<input type="checkbox"/>	Subdivision	<input type="checkbox"/>
Grading Permit	<input type="checkbox"/>	Other	<input type="checkbox"/>

Local Jurisdiction Contact Information:

Last name: First name

Phone # Response from Commission Required By

Fax # Hearing date

SPECIFIC PROJECT INFORMATION

Describe Proposed use of project site:

Addressing Violation #E-2020-711 for clearing of woody vegetation and 15% steep slope & buffer disturbance

Intra-Family Transfer	<input type="checkbox"/>	Growth Allocation	<input type="checkbox"/>
Grandfathered Lot	<input type="checkbox"/>	Buffer Exemption Area	<input checked="" type="checkbox"/>

Project Type (check all that apply)

Commercial	<input type="checkbox"/>	Recreational	<input type="checkbox"/>
Consistency Report	<input type="checkbox"/>	Redevelopment	<input type="checkbox"/>
Industrial	<input type="checkbox"/>	Residential	<input checked="" type="checkbox"/>
Institutional	<input type="checkbox"/>	Shore Erosion Control	<input type="checkbox"/>
Mixed Use	<input type="checkbox"/>	Water-Dependent Facility	<input type="checkbox"/>
Other	<input type="checkbox"/>		

SITE INVENTORY (Enter acres or square feet)

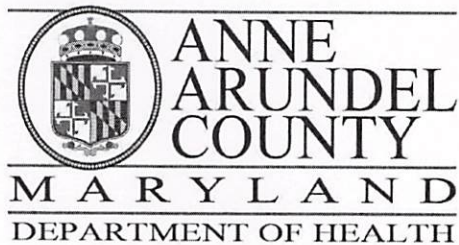
	Acres	Sq Ft	Total Disturbed Area	Acres	Sq Ft
IDA Area	0	0		0.11	4,979
LDA Area	1.39	60,384	# of Lots Created	1	
RCA Area	0	0			
Total Disturbed Area	0.11	4,979			

	Acres	Sq Ft		Acres	Sq Ft
Existing Forest/Woodland/Trees	1.11	48,563	Existing Impervious Surface	0.16	6,821
Created Forest/Woodland/Trees	0	0	New Impervious Surface	0	0
Removed Forest/Woodland/Trees	0.09	3,795	Removed Impervious Surface	0.00	0
			Total Impervious Surface	0.16	6,821

VARIANCE INFORMATION (Check all that apply)

	Acres	Sq Ft		Acres	Sq Ft
Buffer Disturbance	0.11	4,979	Buffer Forest Clearing	0.09	3,979
Non-Buffer Disturbance	0	0	Mitigation	0.47	20,274

<u>Variance Type</u>		<u>Structure</u>	
Buffer	<input type="checkbox"/>	Acc. Structure Addition	<input type="checkbox"/>
Forest Clearing	<input checked="" type="checkbox"/>	Barn	<input type="checkbox"/>
HPA Impact	<input type="checkbox"/>	Deck	<input type="checkbox"/>
Impervious Surface	<input type="checkbox"/>	Dwelling	<input type="checkbox"/>
Expanded Buffer	<input type="checkbox"/>	Dwelling Addition	<input type="checkbox"/>
Nontidal Wetlands	<input type="checkbox"/>	Garage	<input type="checkbox"/>
Setback	<input type="checkbox"/>	Gazebo	<input type="checkbox"/>
Steep Slopes	<input checked="" type="checkbox"/>	Patio	<input type="checkbox"/>
Other	<input type="checkbox"/>	Shed	<input type="checkbox"/>
		Other	<input type="checkbox"/>



J. Howard Beard Health Services Building
3 Harry S. Truman Parkway
Annapolis, Maryland 21401
Phone: 410-222-7095 Fax: 410-222-7294
Maryland Relay (TTY): 711
www.aahealth.org

Tonii Gedin, RN, DNP
Health Officer

MEMORANDUM

TO: Sadé Medina, Zoning Applications
Planning and Zoning Department, MS-6301

FROM: Brian Chew, Program Manager
Bureau of Environmental Health

A handwritten signature in blue ink, appearing to be "BC", written over the printed name of Brian Chew.

DATE: November 24, 2025

RE: Saar Cohen
1552 Park Lane
Pasadena, MD 21122

NUMBER: 2025-0215-V

SUBJECT: Variance/Special Exception/Rezoning

The Health Department has reviewed the above referenced variance to perfect dwelling additions (carport, deck, patio) with less setbacks than required and with disturbance to slopes of 15% or greater, and to perfect the disturbance of slopes of 15% or greater).

Based on a review of the above referenced request, additional information is needed by the Health Department on the location of the addition for this variance request. It must be shown on the site plan.

If you have further questions or comments, please contact Brian Chew at 410-222-7413.

cc: Sterling Seay

2025-0215-V

Menu

Cancel

Help

Task Details OPZ Critical Area Team

Assigned Date
11/18/2025
Assigned to
Kelly Krinetz
Current Status
Complete w/ Comments
Action By
Kelly Krinetz
Comments

This is a complicated request involving an outstanding clearing, grading and building violation on the property. In 2020, the prior property owner was cited for the clearing of woody vegetation in the buffer as well as the construction of an enclosed carport and new deck/patio without the proper permits. A grading permit was submitted in 2022 to perfect the violation and the reviewer required a variance to address the steep slope disturbance that had occurred as part of the violation. It has been determined that neither the carport or deck/patio require variance approval. Although clearing in the buffer would have required a variance had permits been applied for appropriately, a variance is not required to perfect the clearing as that would allow the clearing to remain. For this reason, the clearing remains a violation and will be mitigated as such with the permit application in order to restore the buffer to its original vegetated condition. As for the slope disturbance, a variance will be processed to allow the changes to the existing grades to remain. These areas will be restored to a vegetated condition and will be mitigated at a rate appropriate for the variance as well as violation with the associated permits.
This Office has no objection to this approval as the denial of this variance would require the applicant to regrade the already disturbed area. Approval of this application will allow the applicant to restore the buffer and slope area to a vegetated stable condition, re-establishing the habitat areas on site.

End Time

Billable
No
Time Tracking Start Date
In Possession Time (hrs)
Estimated Hours
0.0
Comment Display in ACA
☒ All ACA Users
☒ Record Creator
☒ Licensed Professional
☒ Contact
☒ Owner

Due Date
12/09/2025
Assigned to Depart
OPZ Critical Area
Status Date
12/11/2025
Overtime
No
Start Time

Hours Spent
0.0
Action by Departm
OPZ Critical Area
Est. Completion D
☐ Display E-mail
☒ Display Comm

Task Specific Information

Expiration Date	Review Notes	Reviewer Name
Reviewer Phone Number	Reviewer Email	

Wes Moore
Governor
Aruna Miller
Lt. Governor



Erik Fisher
Chair
Nick Kelly
Executive Director

**STATE OF MARYLAND
CRITICAL AREA COMMISSION
CHESAPEAKE AND ATLANTIC COASTAL BAYS**

December 2, 2025

Ms. Sterling Seay
Planning Administrator
Anne Arundel County Zoning Division
2664 Riva Road, MS 6301
Annapolis, Maryland 21401

Re: Cohen AFT Variance – 1552 Park Ln, Pasadena

Dear Ms. Seay,

Thank you for submitting information regarding the above-referenced after-the-fact variance to our office for review. The applicant is requesting an after-the-fact variance to maintain improvements attached to the primary dwelling (i.e., a carport, deck and patio) within the 25-foot steep slope buffer. The 1.39-acre property is located in the Critical Area on lands designated Limited Development Area (LDA) and is mapped as a Buffer Modified Area (BMA).

Including the primary dwelling improvements, lot coverage on the property is within the amount allowed for a property of this size. A violation was issued for this property in July 2025 for the unpermitted construction of the dwelling improvements as well as for additional unpermitted clearing and grading in the 100-foot Buffer. Approximately 3,655 square feet of canopy was removed without permits.

In order to grant this variance, the Administrative Hearing Officer must find the request meets each and every one of the variance standards under COMAR 27.01.12. Please note that mitigation for the violation is required at a ratio of 4:1 for the limit of disturbance, plus an additional 1:1 for the area of forest and developed woodland cleared. Should this after-the-fact variance be granted, additional mitigation for this variance is required at a ratio of 3:1 for the limit of disturbance for the carport, deck, and patio.

Thank you for the opportunity to provide comments. Please include this letter in your file and submit it as part of the record for this variance. Also, in accordance with Natural Resources Article §8-1808(d)(6)(i), please provide the Commission with a copy of the Administrative Hearing Officer's written decision regarding this variance application within 10 working days after a written decision has been issued. If you have any questions, please feel free to contact me at 410-260-3479 or kathryn.hayden@maryland.gov.

Sincerely,

A handwritten signature in black ink, reading "Kathryn Hayden". The signature is written in a cursive, flowing style.

Kathryn Hayden
Natural Resources Planner

File: AA 0313-25
cc: Jennifer Esposito, Critical Area Commission
Jamileh Soueidan, Critical Area Commission
Kelly Krinetz, Anne Arundel County
James Haup, Anne Arundel County
Donald Dyott, Anne Arundel County

2025-0215-V

Menu Cancel Help

Task Details I and P Engineering

Assigned Date

11/19/2025

Assigned to

Jean Janvier

Current Status

Complete w/ Comments

Action By

Jean Janvier

Comments

1. Label all three segments of Park Lane as either public or private.
2. The Variance Letter states a new deck was constructed in violation. However, the Site Plan shows the LOD around a concrete patio an upper-level deck. Describe in detail what was constructed.
3. On the Site Plan, label the septic tank and indicate if it is existing or if it was constructed in violation.
4. There is a less than 90-degree angle in the sewer house connection to the septic tank. Please explain.
5. Is there permission for the septic connections to cross the 20-foot right-of-way labelled as Park Lane? Submit the documents with the portions highlighted allowing the private septic to cross Park Lane. Label the size of the sewer house connection and label the pipe size of type for each of the septic/sewer line segments.
6. The Overall Site Plan is labelled scale 1" = 20', while the title block states the plan is 1" = 30'. Please revise accordingly.
7. Label the 25-foot wetland buffer. There appears to be a line shown on the Site Plan that parallels the non-tidal wetlands line.
8. The LOD is shown going through the existing slate step and covered porch. Were they also replaced or constructed in violation? Please explain.
9. The carport is constructed within the steep slope buffer. Revise the variance to include the 25-foot steep slope buffer disturbance.
10. Add the new grading permit number to the Site Plan.
11. The LOD is also within the wetland buffer. An additional variance to disturb the wetland buffer may be required. We defer to the Critical Area Team reviewer.
12. In the Parcel Line Tabulations table, include the bearings and distances for the portion of Lot 1AR containing the septic trenches, located on the opposite side of Park Lane.
13. Label the properties and their owners adjacent to the portion of Lot 1AR containing the septic trenches, located on the opposite side of Park Lane.
14. In the FEMA map number, found in the Environmental Conservation Notes, the digit between C and 1 should be zero, not a capital O. Revise the capital O between the C and the 1 to be a zero.
15. On the Site Plan, show all easements on both portions of Lot 1AR as shown the plat.

End Time

Billable

No

Time Tracking Start Date

In Possession Time (hrs)

Estimated Hours

0.0

Comment Display in ACA

- ☒ All ACA Users
- ☒ Record Creator
- ☒ Licensed Professional
- ☒ Contact
- ☒ Owner

Task Specific Information

Due Date

12/09/2025

Assigned to Departm

Engineering

Status Date

12/09/2025

Overtime

No

Start Time

Hours Spent

0.0

Action by Departm

Engineering

Est. Completion D

☐ Display E-mail

☒ Display Comm

Expiration Date

Reviewer Phone Number

Review Notes

Reviewer Email

Reviewer Name



2664 Riva Road
Annapolis MD 21401
Phone: (410) 222-7790
www.aacounty.org/inspections-and-permits

Mark Wedemeyer, Director

FINAL NOTICE

July 31, 2025

Hand Posted, Personal Service

Saar Cohen
April Cohen
1552 Park Ln.
Pasadena, MD 21122

**RE: 1552 Park Ln. Pasadena, MD 21122 (Tax Map: 18; Grid: 20; Parcel: 78; Lot: 1AR)
Stop Work Order and Violation Notice (B-2024-707/E-2020-711) (Tax Id: 3130-1278-7600)**

Dear Mr. and Ms. Cohen:

On October 7, 2020, the referenced property was inspected by representatives of this department and found to be in violation of the Anne Arundel County Critical Area, Grading, and Stormwater Management Ordinances (all code citations are from the Anne Arundel County Code). Specifically, development activities of grading and removal of woody vegetation **resulting in disturbance of 4,979 square feet** in the Chesapeake Bay Critical Area Buffer as well as construction of an enclosed carport and a new deck has occurred without the required construction, grading and sediment control, stormwater management, well and septic, and zoning authorizations required by Article 15, Section 2-101.105.1, Article 16, Section 3-201, Section 4-201, Article 17 and Article 18, respectively. Consequently, a Stop Work Order was posted on the subject property on October 7, 2020 for grading without a permit and grading without an approved stormwater management plan in accordance with Article 16, Sections 5-103 and 5-105, respectively. A Second Stop Work Order was placed on the property on December 10, 2024 for the illegal construction of the car port enclosure and the new deck. Please note, to perform further work in violation of this Article or a Stop Work Order is a violation of Article 16, Section 5-101(a)(4).

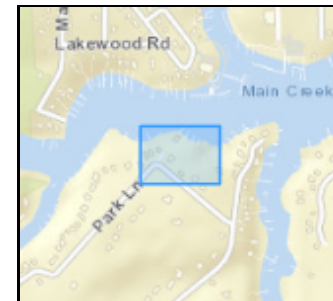
Accordingly, a Grading Permit Application (G02019274 Revision Required) was submitted on January 31, 2022 by the prior owners to abate the violation. To date the comments generated as a result of agency reviews on February 15, 2022, have yet to be addressed. As the new property owners of record, this matter shall be addressed, **by no later than September 1, 2025** and diligently pursue issuance of same, inclusive of applicable zoning and environmental authorizations. In accordance with Article 16, Section 1-109, the Department shall deny the issuance of additional permits until this violation is corrected. Failure to comply with this notice may result in the issuance of additional fines and immediate referral to the County Office of Law for civil enforcement or penalties as outlined in Article 16, Title 5. In addition the County may institute any other appropriate legal proceedings as allowed by law in response to the violations at the above property.

If you have any other questions regarding this correspondence, please contact me at jphaup00@aacounty.org or by calling (410) 222-4602. (A copy of this notice must be included with all required applications.)

Sincerely,

James J. Haupt, CBLP
Code Compliance Supervisor

Map Title



Legend

Foundation

Addressing



Parcels



Parcels - Annapolis City



This map is a user generated static output from an Internet mapping site and is for reference only.
Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

none

0 50 100
ft



THIS MAP IS NOT TO BE
USED FOR NAVIGATION

Notes