

**FINDINGS AND RECOMMENDATION
OFFICE OF PLANNING AND ZONING
ANNE ARUNDEL COUNTY, MARYLAND**

APPLICANT: WMB LLC

ASSESSMENT DISTRICT: 3

CASE NUMBER: 2025-0149-V

COUNCIL DISTRICT: 3

HEARING DATE: October 9, 2025

PREPARED BY: Jennifer Lechner
Planner



REQUEST

The applicant is requesting a variance to allow a dwelling addition (2nd story over garage) with less setbacks than required on property located at 328 Beaghan Drive in Glen Burnie.

LOCATION AND DESCRIPTION OF SITE

The subject site consists of 7,072 square feet of land and is located with frontage on the northwest side of the cul de sac of Beaghan Drive. It is identified as Lot 24 in the Woods of Shannon subdivision, Parcel 417 in Grid 4 on Tax Map 16. The property is zoned R5 – Residential District, and does not lie within the Chesapeake Bay Critical Area. It is improved with a split-foyer single-family dwelling, an attached garage, and other associated facilities.

PROPOSAL

The applicant proposes to construct a second floor addition (18' x 24', maximum height 25'-11") over the existing garage.

REQUESTED VARIANCES

§ 18-4-701 of the Anne Arundel County Zoning Ordinance provides that a principal structure in an R5 District shall be set back a minimum of seven feet from the side lot line. The proposed second floor addition would be constructed as close as four feet from the side (eastern) lot line, requiring a variance of three feet.

FINDINGS

The subject property is irregularly shaped and oversized for lots in the R5 District with regard to the minimum lot size of 5,000 square feet, for lots served by public sewer, and the minimum lot width of 50 feet. A review of the County aerial photography shows that the subject lot abuts a parcel to the north and east, which is reserved for storm drainage and recreation.

Building permit B02438264, to construct a second floor addition over the existing garage, was submitted on July 2, 2025. Variance approval is required prior to the permit being issued.

Agency Comments

The **Health Department** noted that the property is served by public water and sewer facilities, and has no objection to the request.

Variance Criteria

For the granting of a variance, a determination must be made as to whether, because of certain unique physical conditions peculiar to and inherent in the particular lot, or because of exceptional circumstances other than financial considerations, strict implementation of the Code would result in practical difficulties or an unnecessary hardship.

In this particular case, the dwelling was constructed at an angle on the irregularly shaped lot, with the front corner of the garage 4 feet from the side lot line. This orientation creates a practical difficulty in developing the property in strict conformance with the Code. Although the proposed addition would also encroach into the side setback, the property abuts a recreation area with a stormwater management pond easement, which cannot be developed.

As such, the granting of a variance to construct an addition over the existing garage would not alter the essential character of the neighborhood or district in which the lot is located, would not substantially impair the appropriate use or development of adjacent property, nor would it be detrimental to the public welfare.

RECOMMENDATION

Based upon the standards set forth in § 18-16-305 of the Code under which a variance may be granted, this Office recommends **approval** of the requested variance to § 18-4-701 to allow a dwelling addition with less setbacks than required.

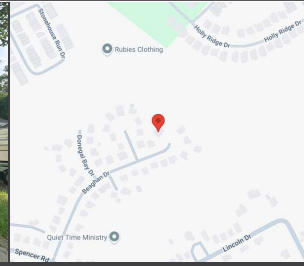
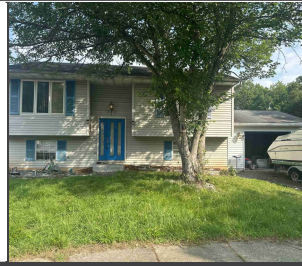
DISCLAIMER: This recommendation does not constitute a building permit. In order for the applicant(s) to construct the structure(s) as proposed, the applicant(s) shall apply for and obtain the necessary building permits and obtain any other approvals required to perform the work described herein. This includes but is not limited to verifying the legal status of the lot, resolving adequacy of public facilities, and demonstrating compliance with environmental site design criteria.

OWNER NAME: WMB LLC





10461 Mill Run Circle, Suite 815
Owings Mills, MD 21117
Phone: (410) 504-1362
Fax: (410) 356-7046
www.terraintitle.com



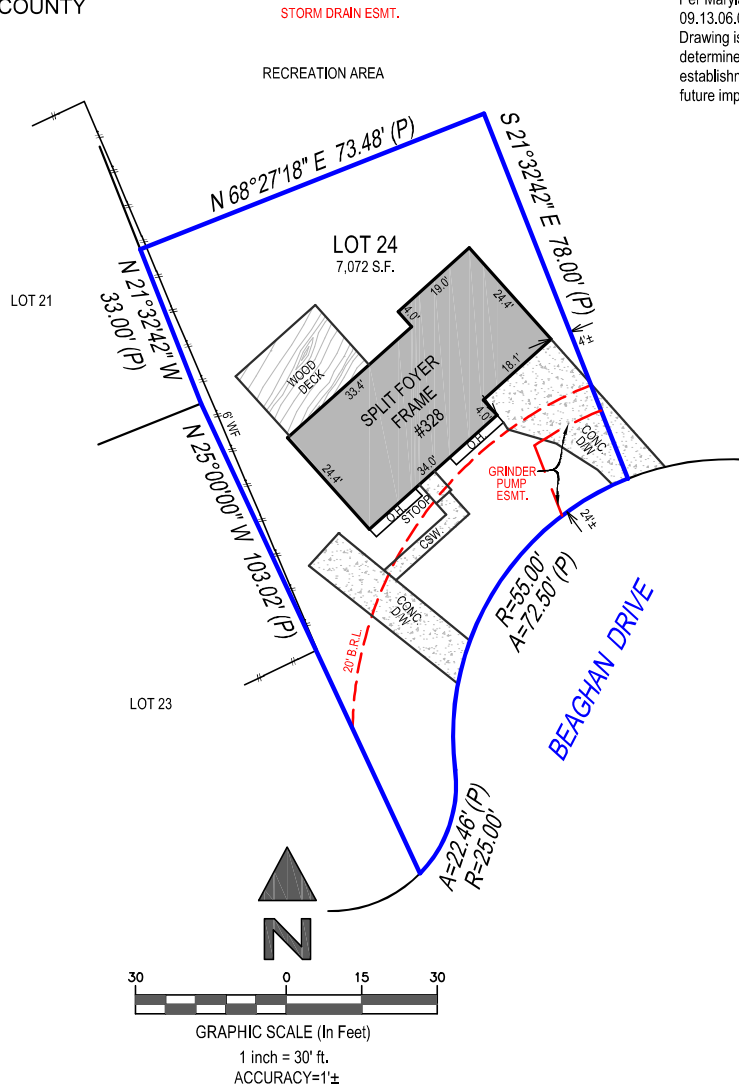
PROPERTY ADDRESS: 328 BEAGHAN DRIVE, GLEN BURNIE, MARYLAND 21060

SURVEY NUMBER: 2506.2519

2506.2519
LOCATION DRAWING
ANNE ARUNDEL COUNTY

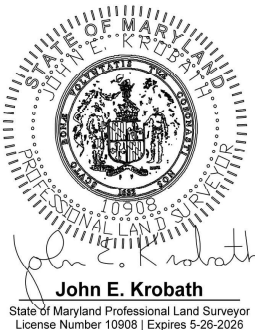
PLEASE NOTE

Per Maryland State Code, Sec. 09.13.06.06, this House Location Drawing is not to be relied upon to determine property boundaries or the establishment or location of existing or future improvements.



SURVEYORS CERTIFICATION:

THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. THIS PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH C.O.M.A.R. SECTION 09.13.06.06 AS NOW ADOPTED BY THE MARYLAND BOARD FOR PROFESSIONAL LAND SURVEYORS AND IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE COMPANY IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR REFINANCING THE PROPERTY DEPICTED HEREON.



POINTS OF INTEREST:

NONE VISIBLE



Exacta Land Surveyors, LLC
LB#21937
office: 413.819.3994
4424 Ventura Way, Apt L | Aberdeen, MD 2100



DATE SIGNED: 06/14/25

FIELD WORK DATE: 6/13/2025

REVISION DATE(S): (REV.0 6/14/2025)

SEE PAGE 2 OF 2 FOR LEGAL DESCRIPTION
PAGE 1 OF 2 - NOT VALID WITHOUT ALL PAGES

Subject: Request for Relief from Setback Requirements – Permit #B02438264
Property Address: 328 Beaghan Dr., Glen Burnie, MD 21060

To Whom It May Concern,

We are submitting this variance request letter in reference to Permit #B02438264 to allow relief from side setback requirement as per Anne Arundel County Code. The site is being known and designated as Lot No. 24 as shown on the Plat entitled “Woods of Shannon”. The site contains 7,072 square feet and zoned R-5. The site is located to the northwest corner at the end of Cul-De-Sac of Beaghan Drive.

We respectfully request relief from the side yard setback requirements to allow a 3-foot reduction— from the required 7 feet to maximum 4 feet in the beginning of east side of building wall for the distance of 6.6 feet - in order to align the proposed addition with the existing structure of the house. Specifically, we plan to construct a room above the existing garage, extending the new addition to match the current footprint, which already sits at the 4-foot mark at the beginning point of building wall. Due to existing building layout the first 6.6 feet distance need relief from the setback requirement. The setback in the east side varies from 4.0 feet in the front to 15.3 feet on the back side of the building.

The east side of the property where the relief is requested borders Parcel 417, which is currently an undeveloped lot reserved for storm drain easement and recreation area. Therefore, this adjustment will not impact any neighboring residence or obstruct any sight lines or access. The existing garage already follows a similar setback, and maintaining this line will contribute to a consistent and cohesive appearance within the neighborhood.

An existing house has been built around 1987. We believe that an existing building has been constructed with current setback while realign an existing building parallel to the road. This request supports a functional use of the property while preserving the intent of the zoning regulations.

The granting of the Variances will not alter the essential character of the neighborhood as the proposed addition bedroom is at the top of existing garage. The property is unique due to its shape and location on the northwest corner of the cul-de-sac. We believe that the proposed construction work is not reasonably carried out without the approval of relief requested. We feel that granting these variances will not confer on the applicant any special privileges, the spirit of the ordinance will be observed and no compromise with the public safety and welfare.

We appreciate your consideration and respectfully request for the approval of relief request. Please let us know if any further documentation or clarification is required.
Sincerely,

Khalid Majeed
WMB LLC
703-626-7861









328 BEAGHAN DRIVE
GLEN BURNIE, MD. 21060

STRUCTURAL ENGINEER:

ADAMS – MIRZA ENGINEERING, Inc.
1308 SOUTH BAYLIS STREET
BALTIMORE, MD 21224
410-563-4131
mmirza@adams-mirza-eng.com



EXIST. FRONT ELEVATION
NOT TO SCALE



EXIST. REAR ELEVATION
NOT TO SCALE

CONSTRUCTION NOTES

1. DEMO EXIST. ROOF OVER GARAGE
2. PHASE CONSTRUCTION AND PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED TO CREATE A STRUCTURALLY SOUND ENVIRONMENT WHILE NEW CONSTRUCTION PROCEEDS. TAKE EVERY PRECAUTION TO PREVENT UNDERMINING OF ADJACENT PROPERTY'S FOUNDATION.
3. PROTECT AND SECURE SITE, BUILDING, MATERIALS AND EQUIPMENT FROM THEFT, VANDALISM AND UNAUTHORIZED ENTRY. PROTECT EXISTING LANDSCAPE, WINDOWS, INTERIOR AND EXTERIOR WALLS FROM DAMAGE DURING CONSTRUCTION. PROTECT FINISHED FLOOR FROM DIRT, WEAR AND DAMAGE. PREVENT MIGRATION OF DUST AND DEBRIS AND DAMAGE FROM IMPACTING EXISTING/ADJACENT AREA OF BUILDING THAT ARE OUTSIDE OF WORK, THE GREATEST EXTEND POSSIBLE.
4. LOAD DEMOLISHED MATERIAL DIRECTLY ON TRUCKS OR INTO DUMPSTER FOR REMOVAL. DISPOSE OF DEBRIS LEGALLY. DO NOT BURN ON SITE. DO NOT ALLOW DEBRIS TO ENTER SEWER. DO NOT LET FILED DEBRIS ENDANGER STRUCTURE, BLOCK EXISTS OR ROADWAYS. UPON DISCOVERY OF HAZARDOUS MATERIALS, NOTIFY THE PROJECT MANAGER OF TYPE, LOCATION AND EXTENT OF SAME.

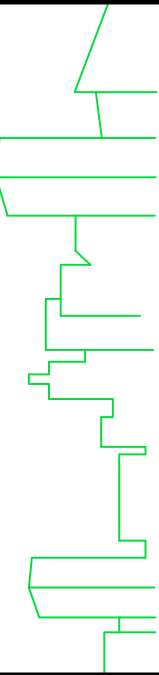
ENERGY CODE

- 2021 IECC CODE COMPLIANCE
- R301.1 CLIMATE ZONE 4A
- R402.1.1 VAPOR RETARDER:
WALL ASSEMBLIES IN THE BUILDING THERMAL ENVELOPE SHALL COMPLY WITH VAPOR RETARDER REQUIREMENTS OF SECTION R702.7 OF THE INTERNATIONAL RESIDENTIAL CODE, 2015 EDITION.
- R402.1.2 ATTIC INSULATION: RAISED HEEL TRUSSES:
R-49 R-38
- R402.1.2 WOOD FRAME WALL:
R-20 OR R-13 + R-5 CONTINUOUS INSULATION.
- R402.1.2 BASEMENT WALL INSULATION:
R-13/R-10 FOILED FACED CONTINUOUS, UNINTERRUPTED BATTS FULL HEIGHT
- R402.1.2 CRAWL SPACE WALL INSULATION:
R-13/R-10 FOIL FACED CONTINUOUS BATTS FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISHED GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0".
- R402.1.2 FLOOR INSULATION OVER UNCONDITIONED SPACE:
R-19 BATT INSULATION IN CONTACT WITH SHEATHING ABOVE.
- R402.1.2 WINDOW U-VALUE/SHGC
.30 (U-VALUE)
.40 (SHGC)
- R402.2.10 SLAB ON GRADE FLOORS LESS THAN 12" BELOW GRADE:
R-10 RIGID FOAM BOARD UNDER SLAB EXTENDING EITHER 4'-0" HORIZONTALLY OR 4'-0" VERTICALLY
- R402.2.4 ATTIC ACCESS:
ATTIC ACCESS SCUTTLE WILL BE WEATHER-STRIPPED AND INSULATED R-49
- R402.4 BUILDING THERMAL ENVELOPE (AIR LEAKAGE):
EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2021 IECC WITH CAULK, GASKETS, WEATHER-STRIPPING OR AN AIR BARRIER OF SUITABLE MATERIAL. SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW SEALING FOR DIFFERENTIAL EXPANSION AND CONTRACTION.
- R402.4.1.2 BUILDING THERMAL ENVELOPE TIGHTNESS TEST:
BUILDING ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 779 OR ASTM E 1827 WITH (BLOWER DOOR) AT A PRESSURE OF 0.2 INCHES w.g. (50 PASCALS). TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING INSPECTOR.
- R402.4.2 FIREPLACES:
NEW WOOD BURNING FIREPLACES WILL HAVE TIGHT-FITTING FLUE DAMPERS OR DOORS, AND OUTDOOR COMBUSTION AIR. FIREPLACE DOORS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 127 (FACTORY BUILT FIREPLACE) AND UL 907 (MASONRY FIREPLACE).
- R402.4.4 ROOMS CONTAINING FUEL-BURNING APPLIANCES WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION FUEL BURNING APPLIANCES, THE APPLIANCES AND COMBUSTION AIR SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM ISOLATED FROM INSIDE THE THERMAL ENVELOPE.
EXCEPTIONS: 1. DIRECT VENT APPLIANCE WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE.
2. FIREPLACES AND STOVES COMPLYING WITH SECTION R402.4.2 AND SECTION R1006 OF THE IRC.
- R402.4.5 RECESSED LIGHTING
RECESSED LUMINARIES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE.
- R403.1.1 THERMOSTAT
ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPARATE HEATING AND COOLING SYSTEM PER 2018 IECC SECTION 403.1.1.
- R403.1.2 WHERE A HEAT PUMP SYSTEM HAVING SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE SUPPLEMENTARY HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD.
- R403.3.1 MECHANICAL DUCT INSULATION
SUPPLY AND RETURN DUCTS IN ATTIC R-8 MINIMUM. R-6 WHEN LESS THAN 3 INCHES.
SUPPLY AND RETURN DUCTS OUTSIDE OF CONDITIONED SPACES R-8 MINIMUM.
ALL OTHER DUCTS EXCEPT THOSE LOCATED COMPLETELY INSIDE THE BUILDING THERMAL ENVELOPE R-6 MINIMUM. DUCTS LOCATED UNDER CONCRETE SLAB MUST BE R-6 MINIMUM.
- R403.3.2 DUCT SEALING
ALL DUCTS, AIR HANDLERS, FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION M1601.4.1 OF THE IRC
A DUCT TIGHTNESS TEST ("DUCT BLASTER" DUCT TOTAL LEAKAGE TEST) WILL BE PERFORMED ON ALL HOMES AND SHALL BE VERIFIED BY EITHER A POST CONSTRUCTION TEST OR A ROUGH-IN TEST. DUCT TIGHTNESS TEST IS NOT REQUIRED IF THE THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN THE CONDITIONED SPACE
- R403.6 MECHANICAL VENTILATION
OUTDOOR (MAKE-UP AND EXHAUSTS) AIR DUCTS TO BE PROVIDED WITH AUTOMATIC OR GRAVITY DAMPER THAT CLOSE WHEN THE VENTILATION SYSTEM IS NOT OPERATING.
- R403.6.1 WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM FAN EFFICIENCY TO COMPLY WITH TABLE R403.6.1.
- R403.7 EQUIPMENT SIZING SHALL COMPLY WITH R403.7.
- R404.1 LIGHTING EQUIPMENT
ALL PERMANENTLY INSTALLED FIXTURES, EXCLUDING KITCHEN APPLIANCE LIGHTING FIXTURES, SHALL CONTAIN ONLY HIGH-EFFICACY LIGHTING SOURCES.
THIS CONTRACTOR IS ALSO RESPONSIBLE FOR GENERATING CERTIFICATE OF COMPLIANCE AND AFFIXING TO ELECTRICAL PANEL OR WITHIN 6 FEET OF THE ELECTRICAL PANEL AND READILY VISIBLE.
WATER HEATER:
MINIMUM EFFICIENCY ESTABLISHED BY NAECA

LIST OF DRAWINGS SHEETS

A0	COVER SHEET
A1	PLAN AND SCHEDULE
A2	ELEVATIONS
S1	FRAMING PLANS, GENERAL NOTES AND DETAIL
S2	SECTIONS

Adams – Mirza Engineering, Inc.



1308 South Baylis Street Baltimore, MD 21224
Phone 410.563.4131 Fax 410.563.4145
mmirza@adams-mirza-eng.com

Seal:

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS THE STATE OF MARYLAND, LICENSE NO.33478
EXP. DATE: 9/15/2024

Project:

328 BEAGHAN DRIVE
GLEN BURNIE, MD. 21060

Scale:

SCALE AS NOTED

Drawing:

COVER SHEET

Submission:

PERMIT SET

Sheet No:

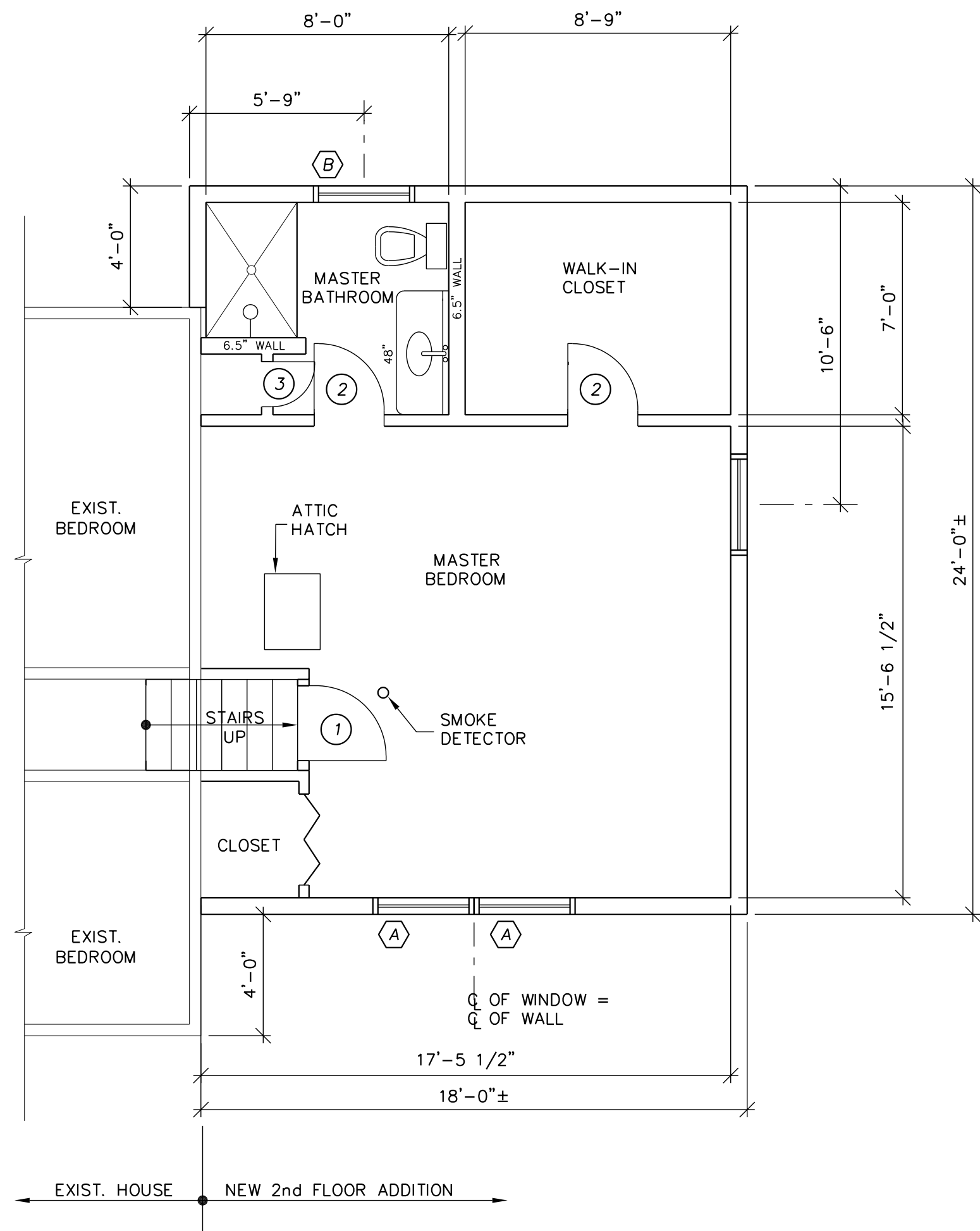
CS

AME #

24200

Date:

6/30/2025



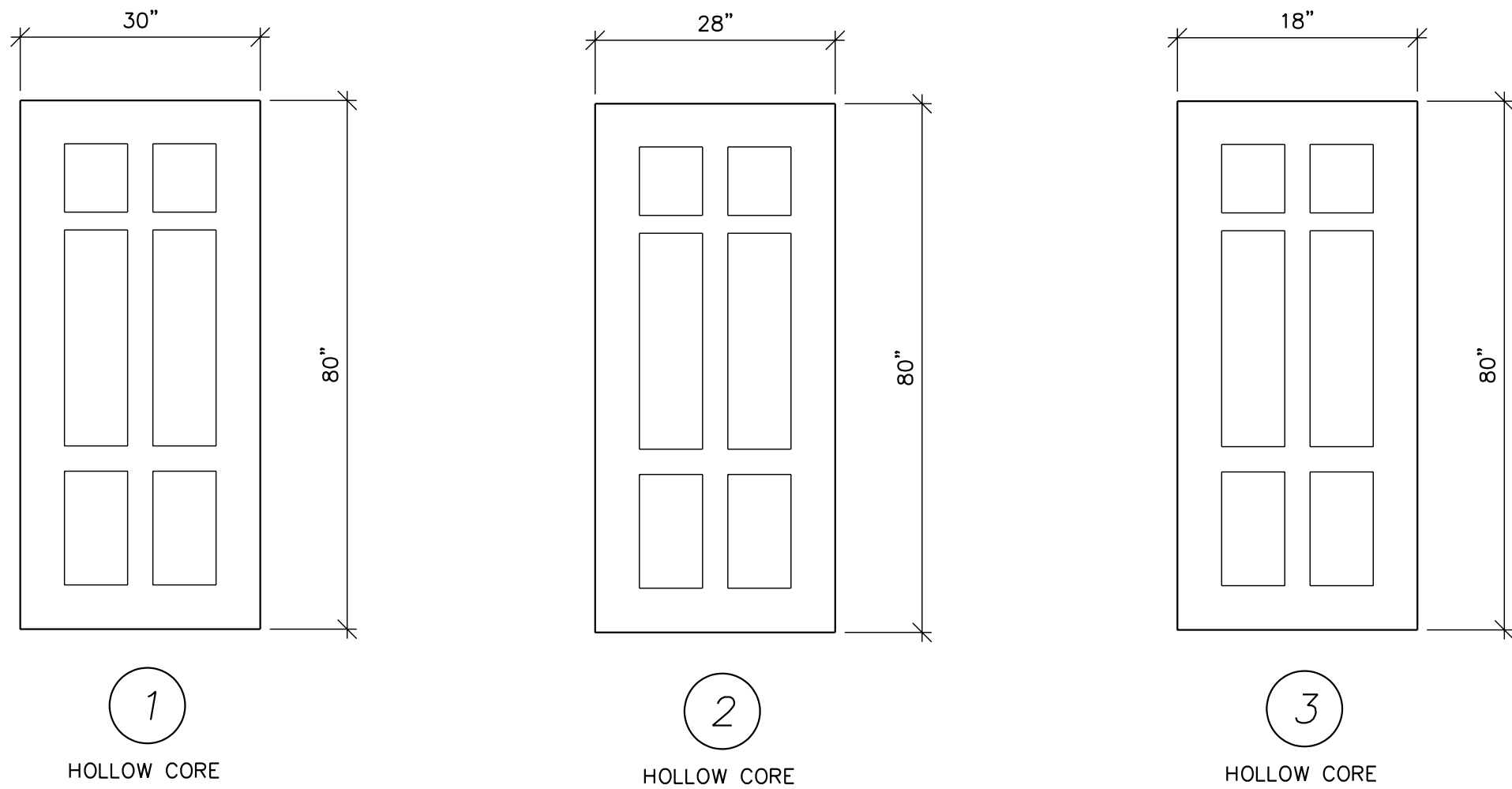
PARTIAL UPPER LEVEL FLOOR PLAN ~ 1/4" = 1'-0"

1. ALL DIMENSIONS ARE TO FACE OF SHEATHING.
2. ALL SMOKE/CARBON MONOXIDE DETECTORS TO BE HARD WIRED w/ BATTERY BACKUP.

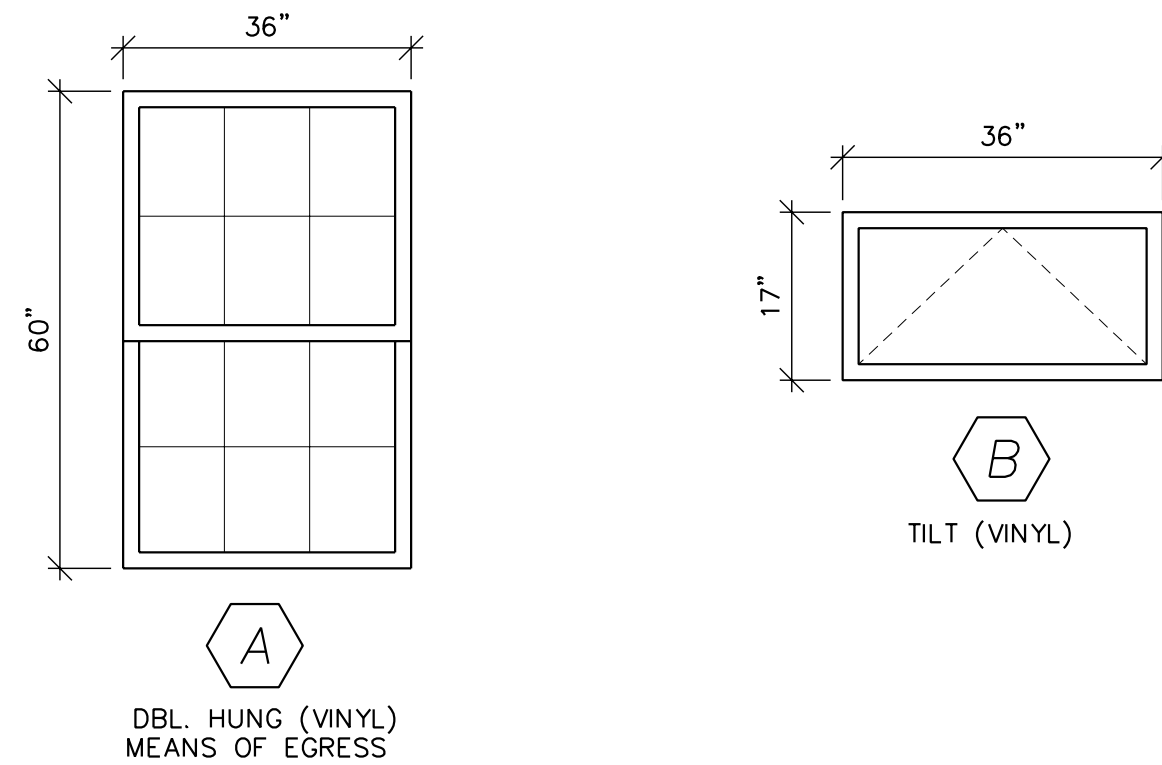
SHEETROCK NOTE:
BEDROOM:
ALL WALLS AND CEILING
TO BE STANDARD 1/2" GWB.
BATHROOMS & MOISTURE
AREAS USE NON-ABSORBENT
GWB
GARAGE -
ALL WALLS AND CEILING
TO HAVE 5/8" TYPE-X FRT GWB.

SQUARE FOOTAGE:
NEW ADDITION = 434 SQ. FT.
EXIST. HOUSE = 872 SQ. FT.
LIVING SPACE INCREASE = 49%

STAIR NOTE:
6 STEPS
7" RISE (7 3/4" MAX.)
10" TREAD (MIN.)



DOOR TYPES
SEE PLAN FOR DOOR SWINGS



WINDOW TYPES
WINDOW U-VALUE/SHGC
.30 (U-VALUE)
.40 (SHGC)

Adams – Mirza Engineering, Inc.

1308 South Byrds Street Baltimore, MD 21224
Phone 410.563.4131 Fax 410.563.4143
mirza@adams-mirza-eng.com

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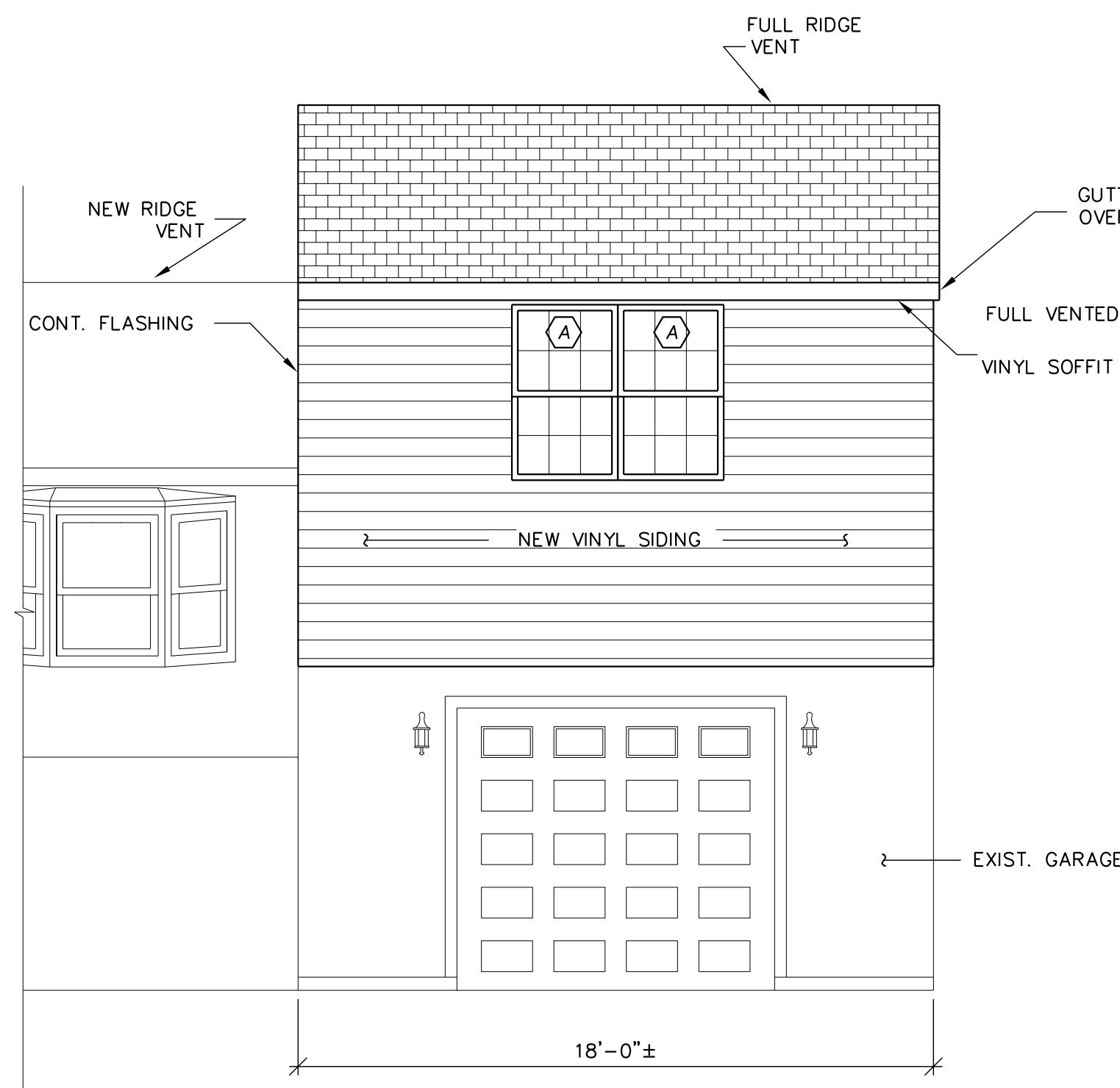
Drawing:
PLAN & SCHEDULE

Submission:
PERMIT SET

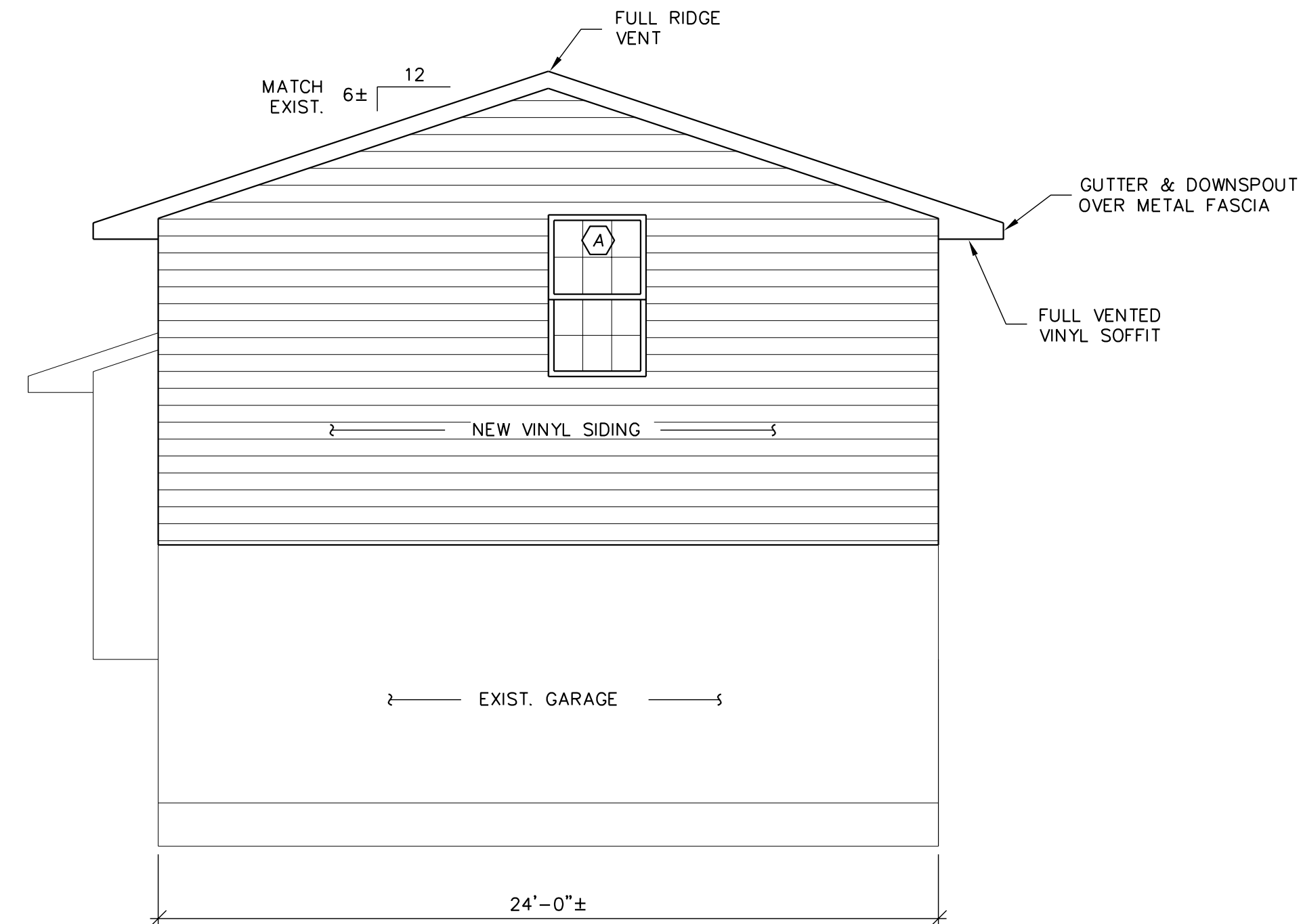
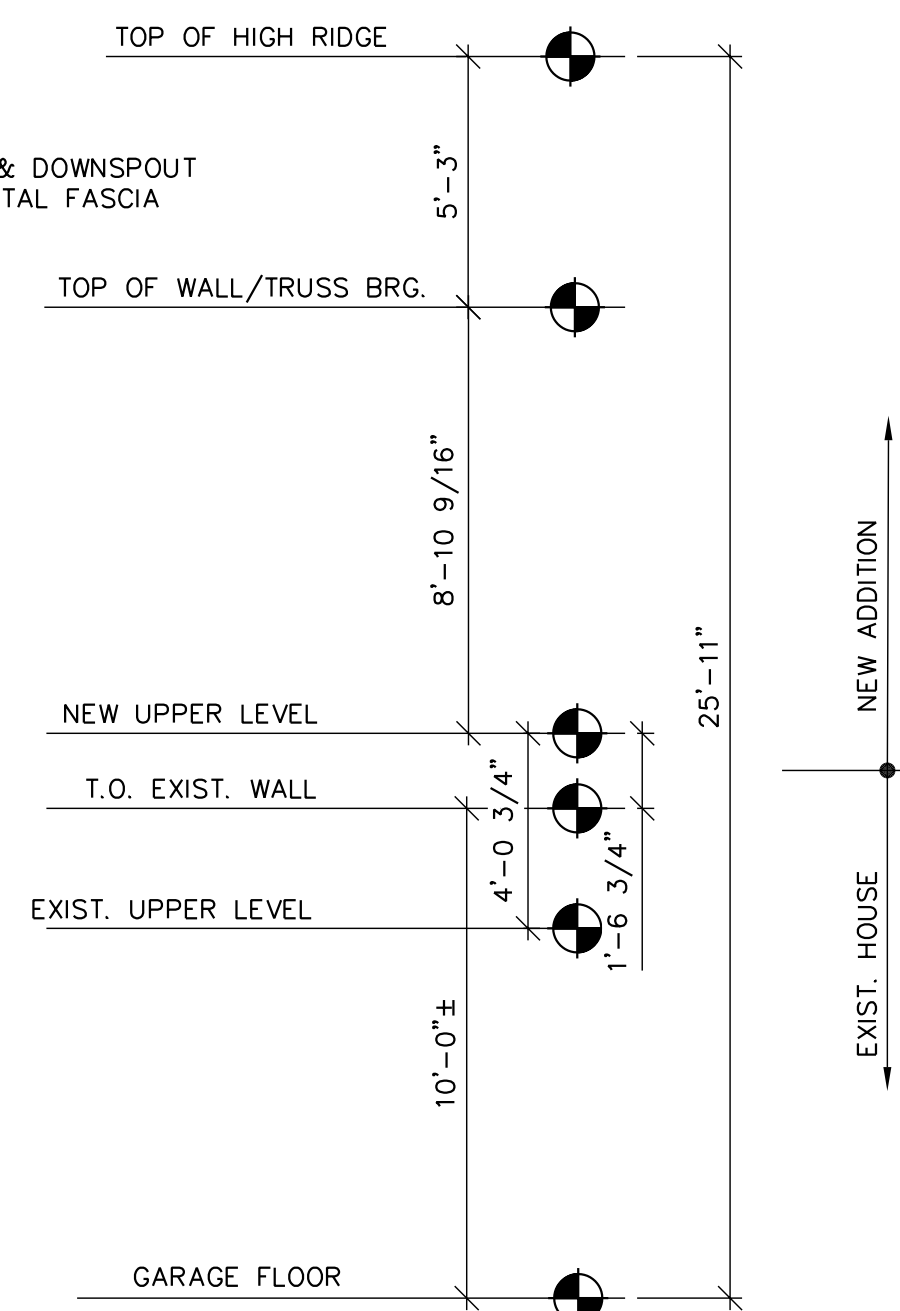
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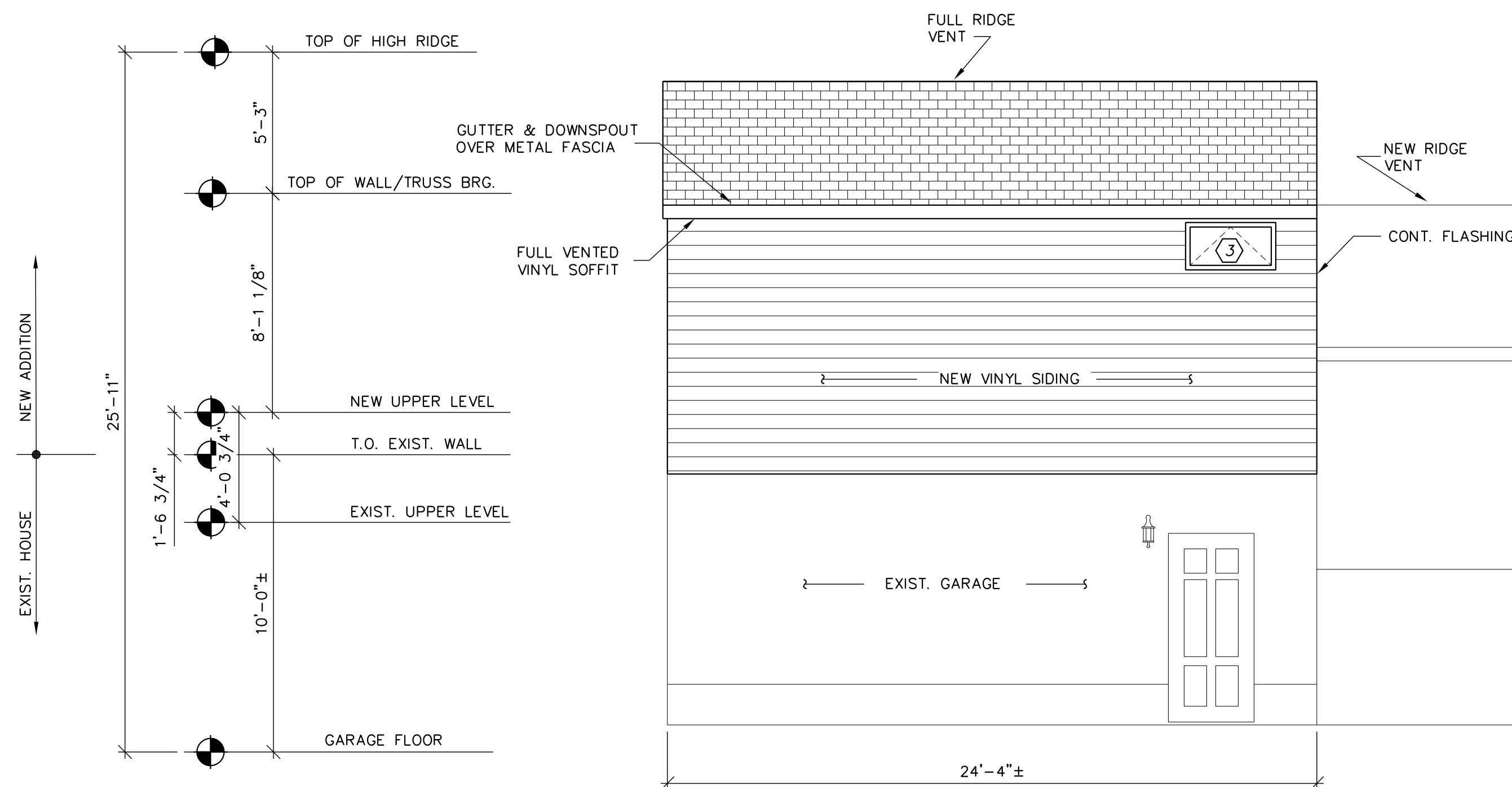
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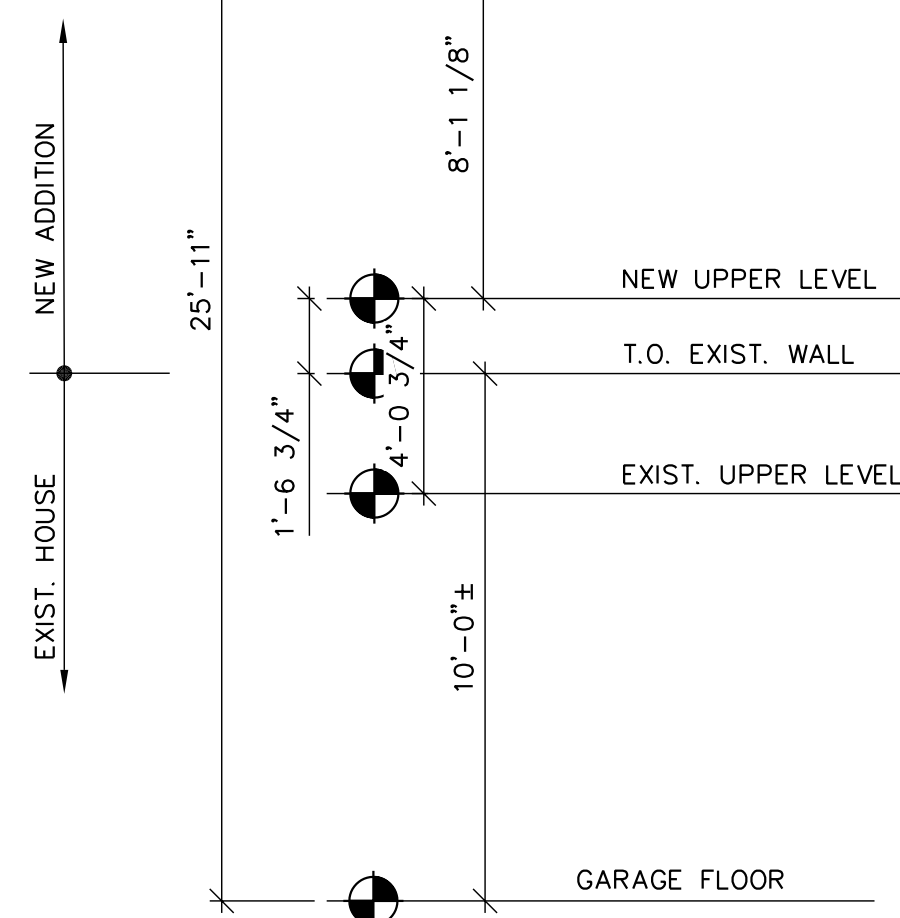
FRONT ELEVATION ~ 1/4" = 1'-0"

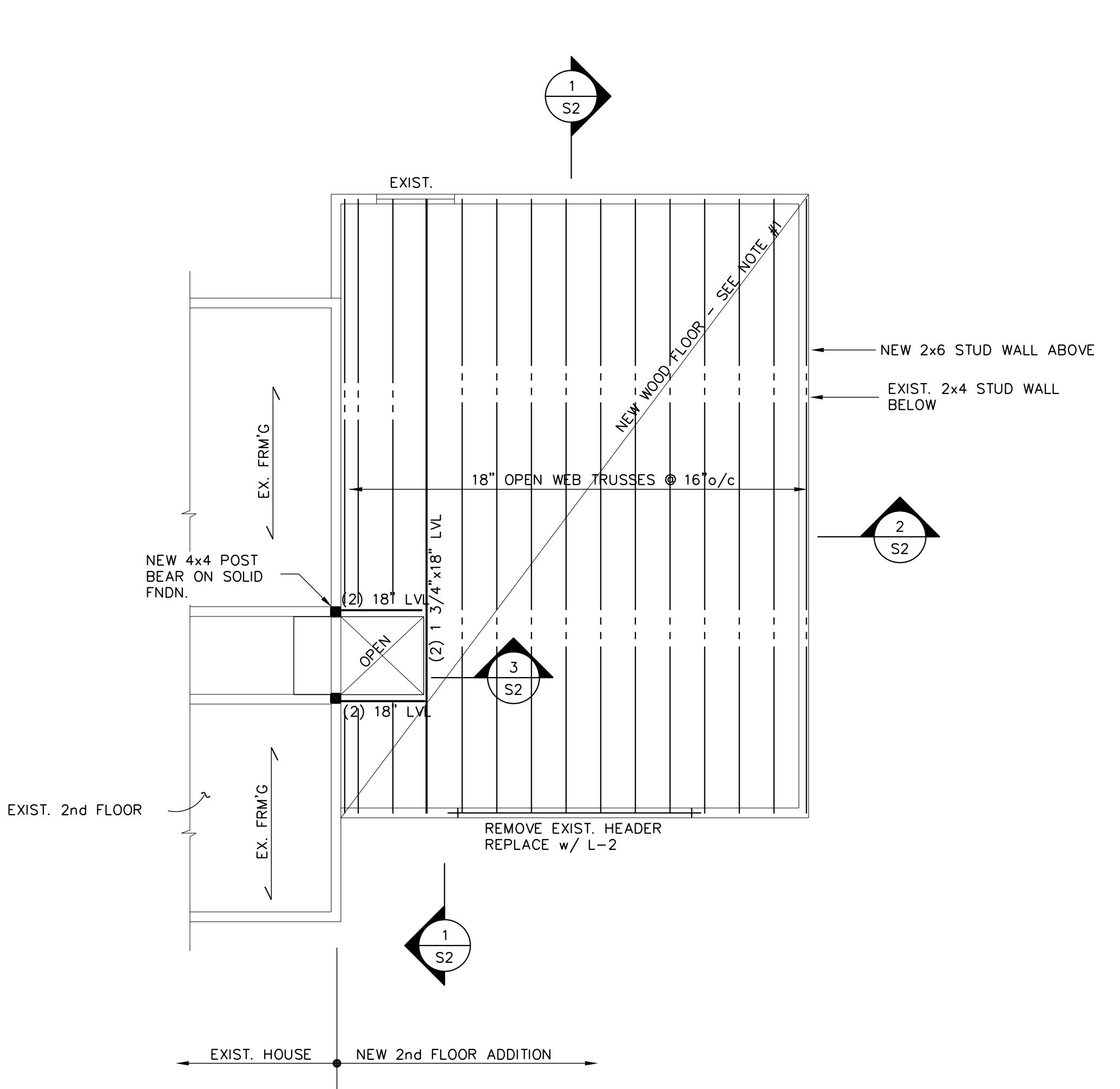


RIGHT SIDE ELEVATION ~ 1/4" = 1'-0"



REAR ELEVATION ~ 1/4" = 1'-0"



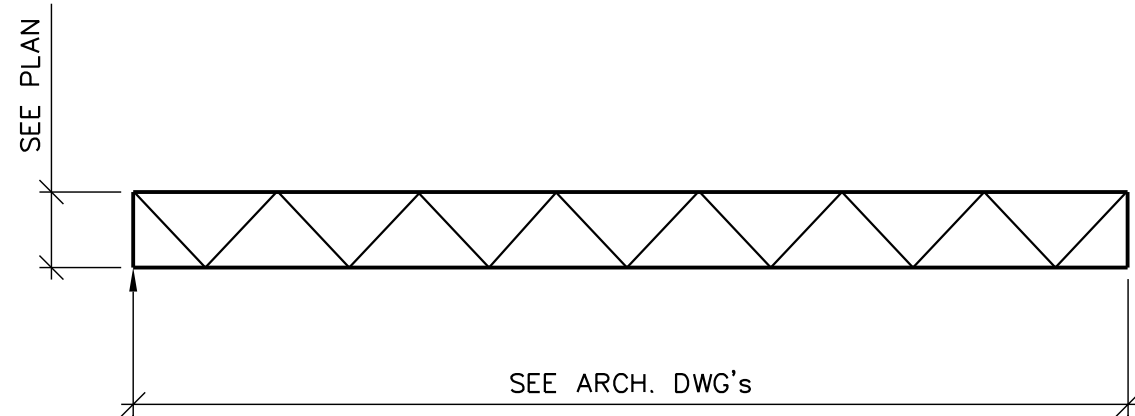


PARTIAL UPPER LEVEL FLOOR FRAMING PLAN ~ 1/4" = 1'-0"

- FLOOR TO BE 3/4" T.&G. GLUED AND NAILED PLYWOOD FLOOR DECK
- TRUSSES TO BE DESIGNED BY TRUSS MANUFACTURER.
- L-1 = (3) 2x10 + (2) 1/2" PLYWOOD
L-2 = (2) 1 3/4"x11 7/8" LVL
L-3 = (2) 2x10 + (1) 1/2" PLYWOOD

NOTE:
HANDLING & BRACING OF TRUSS
PER BCSI I-03 BY WOOD TRUSS
COUNCIL OF AMERICA AND TRUSS
PLATE INSTITUTE

TRUSS PROFILES INDICATED ON THESE DRAWINGS ARE INTENDED AS
A SCHEMATIC REPRESENTATION, INDICATING GENERAL CONFIGURATION AND
SUPPORT CONDITIONS. WEB CONFIGURATIONS BY MECH., ELEC. & PLUMBING.
CONTRACTOR DO NOT CUT TRUSSES.



OPEN WEB WOOD TRUSS

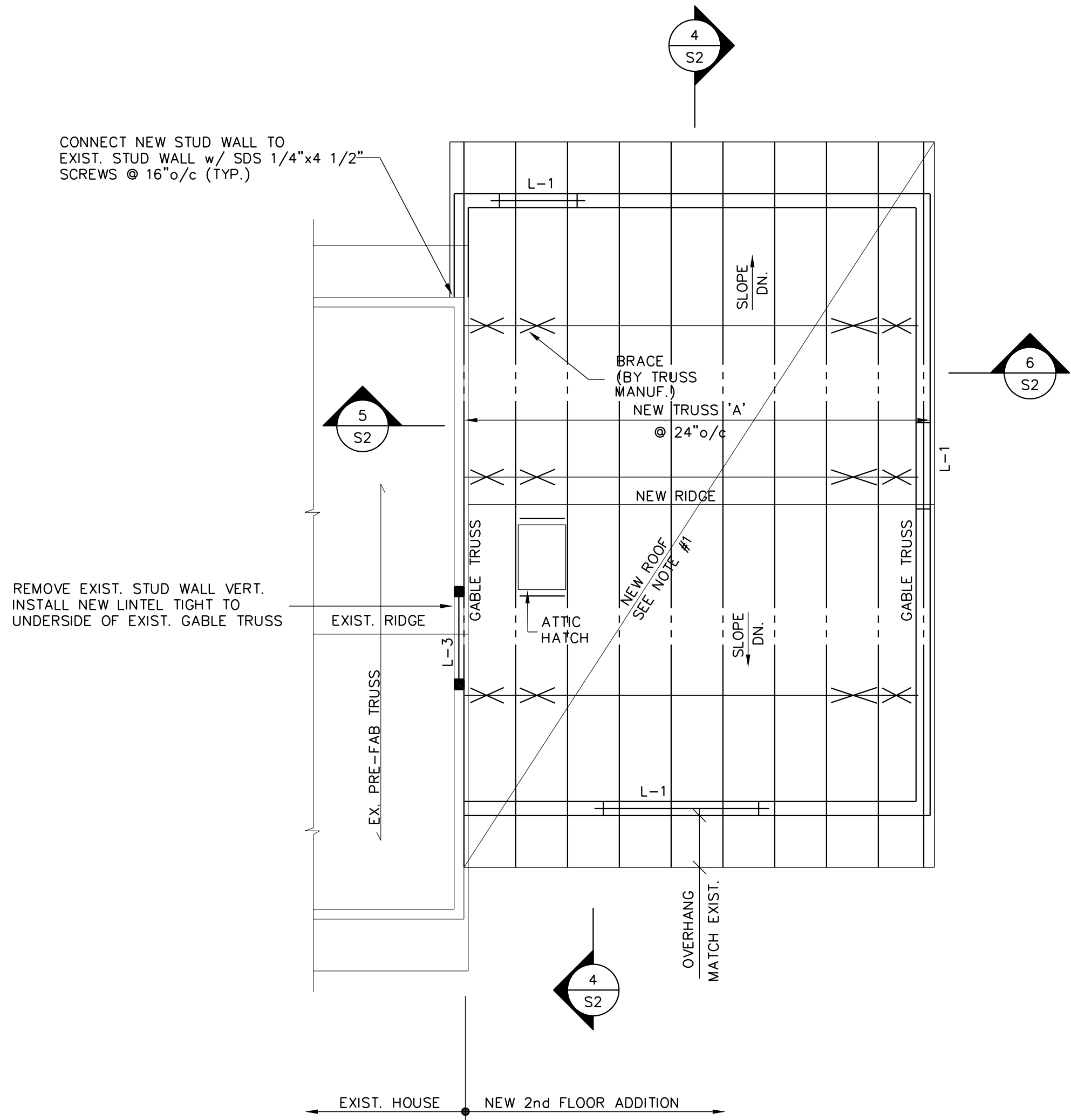
FLOOR TRUSSES TO BE DESIGNED FOR THE FOLLOWING LOADS:

LIVE LOAD:
TOP CHORD = 40.0 PSF

DEAD LOAD :
TOP CHORD = 15.0 PSF
BOTTOM CHORD = 10.0 PSF

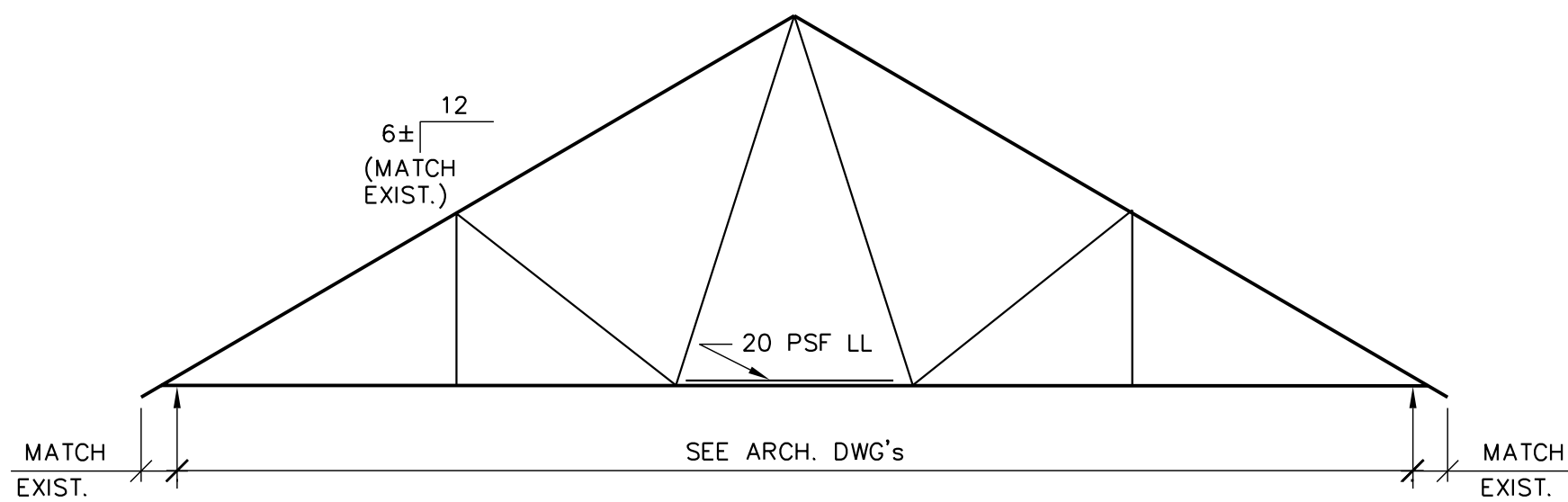
L/480 DEFLECTION

SUBMIT SHOP DRAWINGS STAMP BY P.E.
PROVIDE ALL PERMANENT AND TEMPORARY BRACING
AS NEEDED



PARTIAL ROOF FRAMING PLAN ~ 1/4" = 1'-0"

- ROOF TO BE 5/8" THICK EXTERIOR GRADE PLYWOOD.
- ROOF TRUSSES TO BE DESIGNED BY TRUSS MANUFACTURER
- L-1 = (3) 2x10 + (2) 1/2" PLYWOOD



TRUSS 'A'

ROOF TRUSSES TO BE DESIGNED FOR THE FOLLOWING LOADS:

LIVE LOAD:
TOP CHORD = 30.0 PSF

DEAD LOAD :
TOP CHORD = 15.0 PSF
BOTTOM CHORD = 10.0 PSF

GENERAL NOTES

- GENERAL:
- THE CONTRACTOR SHOULD FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE STARTING WORK.
 - PROVIDE ALL NECESSARY TEMPORARY BRACING AND SHORING TO PROPERLY CONSTRUCT THE WORK.
 - PROTECT EXISTING STRUCTURES AND REPAIR/REPLACE ANY DAMAGED ITEMS.
 - MEANS AND METHODS ARE THE CONTRACTOR'S RESPONSIBILITY.

DIMENSION LUMBER FRAMING MEMBERS:

DESIGN AND DETAILING OF ALL MEMBERS, CONNECTIONS AND ACCESSORIES SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE ATTIC "TIMBER CONSTRUCTION MANUAL" AND THE NFPA "NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION".

ALL MEMBERS SHALL BE SOUTHERN PINE, MEDIUM GRADE WITH THE FOLLOWING MINIMUM ALLOWABLE DESIGN VALUES:

BENDING	900 PSI
TENSION PARALLEL TO GRAIN	900 PSI
HORIZONTAL SHEAR STRESS	140 PSI
COMPRESSION PERPENDICULAR TO GRAIN	335 PSI
COMPRESSION PARALLEL TO GRAIN	825 PSI
MODULUS OF ELASTICITY	1.2

WOOD TRUSSES:

CONTRACTOR IS RESPONSIBLE TO SUBMIT ENGINEERED TRUSS SHOP DRAWINGS.
CONTRACTOR IS RESPONSIBLE FOR THE ERECTION OF THE TJ's AND WOOD TRUSSES. TRUSSES SHALL BE DESIGNED FOR THE LOADS INDICATED PLUS APPLICABLE SNOW DRIFT AS REQUIRED BY CODE. NO INCREASE IN ALLOWABLE STRESS ARE PERMITTED.
ROOF TRUSSES DESIGN SHALL INCLUDE TEMPORARY AND PERMANENT BRACING.
PERMANENT BRACING SHALL BE ATTACHED TO THE WALLS. DESIGN COMPUTATIONS AND SHOP DRAWINGS, SIGNED AND SEALED BY PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MARYLAND, SHALL BE SUBMITTED FOR REVIEW.

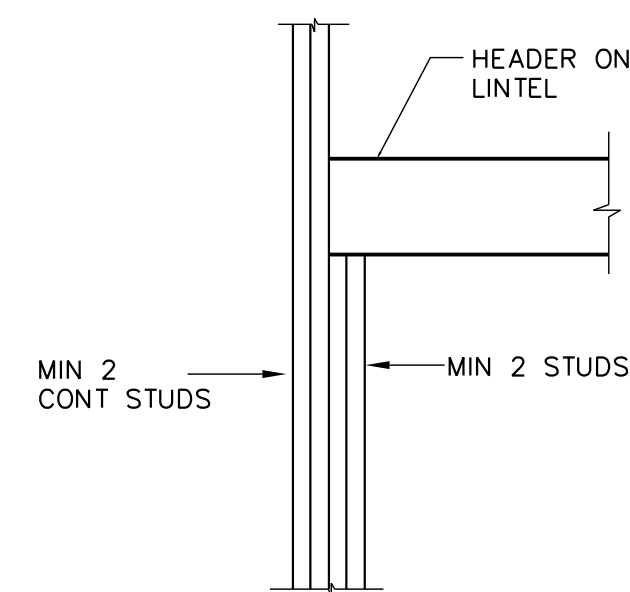
CONNECTIONS

ALL CONNECTIONS SHALL BE GALVANIZED AND AS MANUFACTURE BY SIMPSON OR APPROVED EQUAL AND SHALL BE THE TYPE AS RECOMMENDED BY THE MANUFACTURE FOR THE INTENDED USAGE (UNLESS OTHERWISE NOTED ON DRAWINGS).

LIVE LOADS

THIS 2nd FLOOR ADDITION HAS BEEN DESIGNED FOR IRC 2021 CODE LIVE LOADS:

2nd FLOOR:	40 PSF
ROOF:	30 PSF
WIND:	120 MPH (uit)



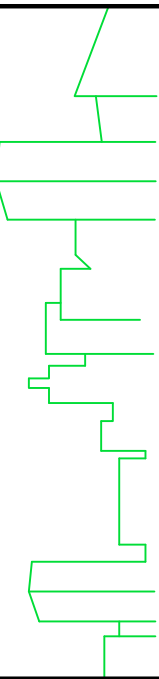
DETAIL

A
S1

N.T.S.

TYP. LINTEL/HEADER BRG. DETAIL

Adams – Mirza Engineering, Inc.



1308 South Bayle Street Baltimore, MD 21224
Phone 410.563.4131 Fax 410.563.4145
mirza@adams-mirza-eng.com

Seal:



PROFESSIONAL CERTIFICATION: I HEREBY
CERTIFY THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME, AND THAT
I AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE STATE OF
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EXP. DATE: 9/15/2024

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Drawing:

FRAMING PLANS,
GENERAL NOTES
AND DETAILS

Submission:

PERMIT SET

Sheet No:

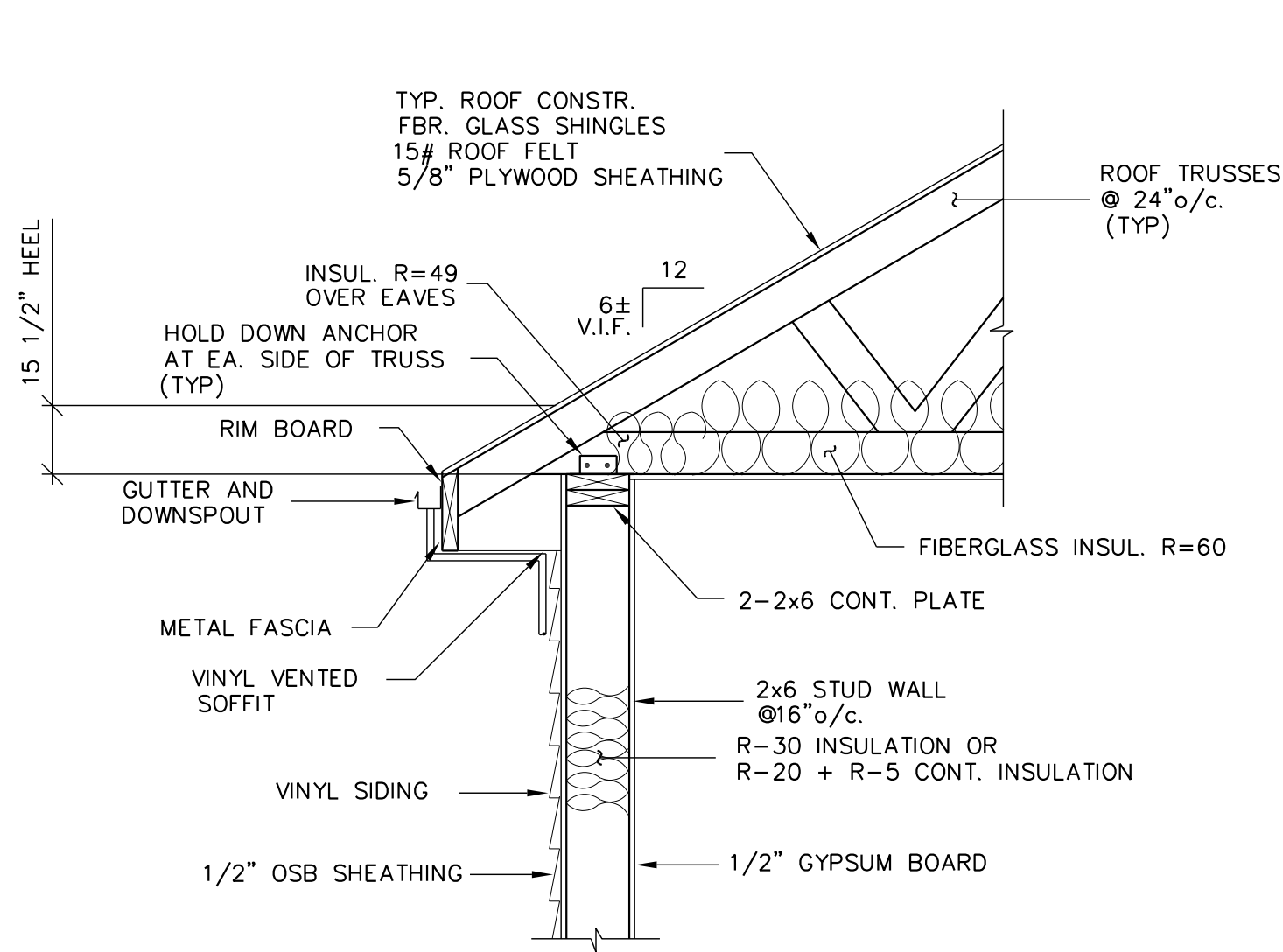
S1

AME #

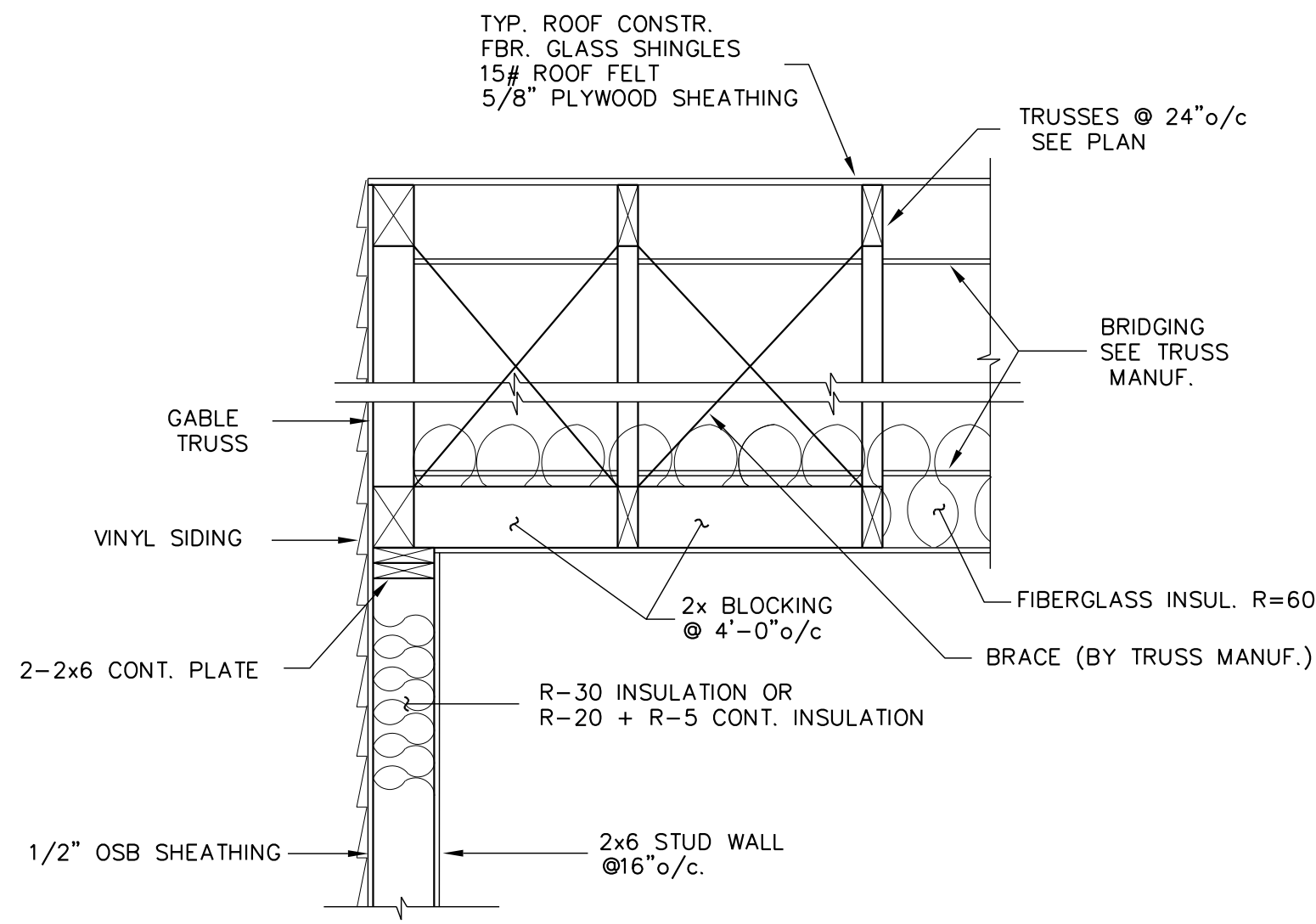
24200

Date:

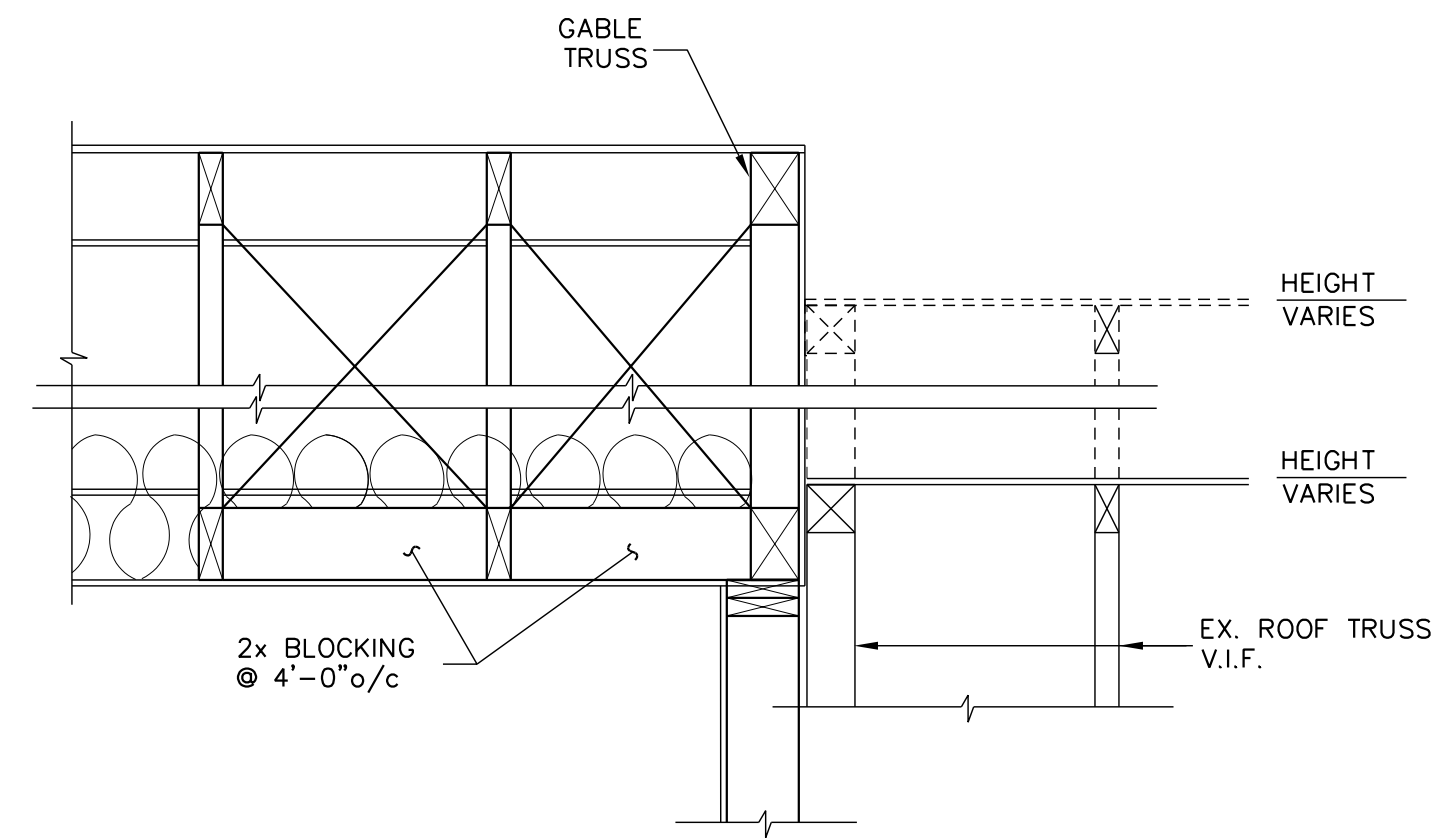
6/30/2025



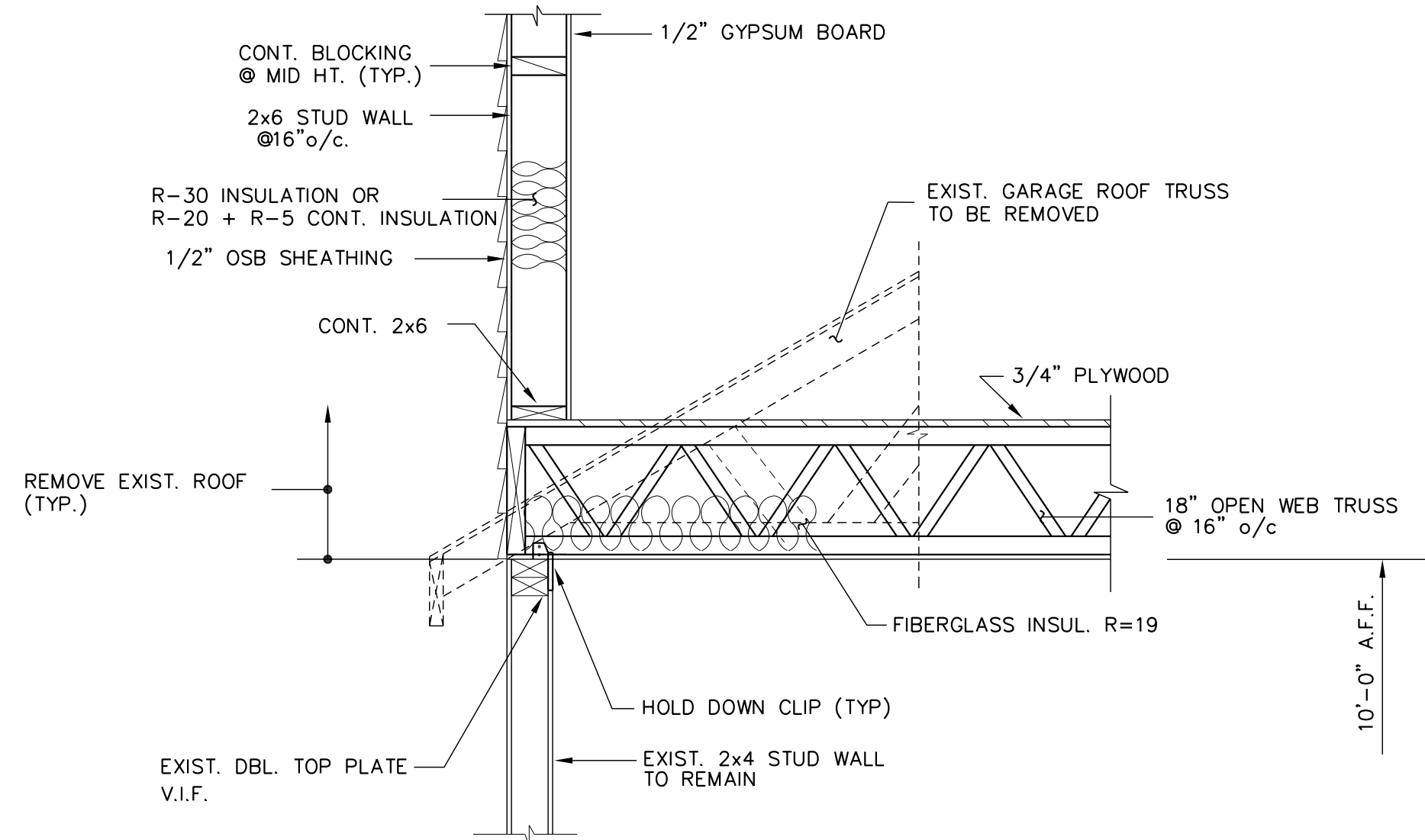
SECTION 4
S2 ~ 3/4" = 1'-0"
ROOF TRUSS BRG. ON STUD WALL w/ SIDING



SECTION 5
S2 ~ 3/4" = 1'-0"
GABLE TRUSS END

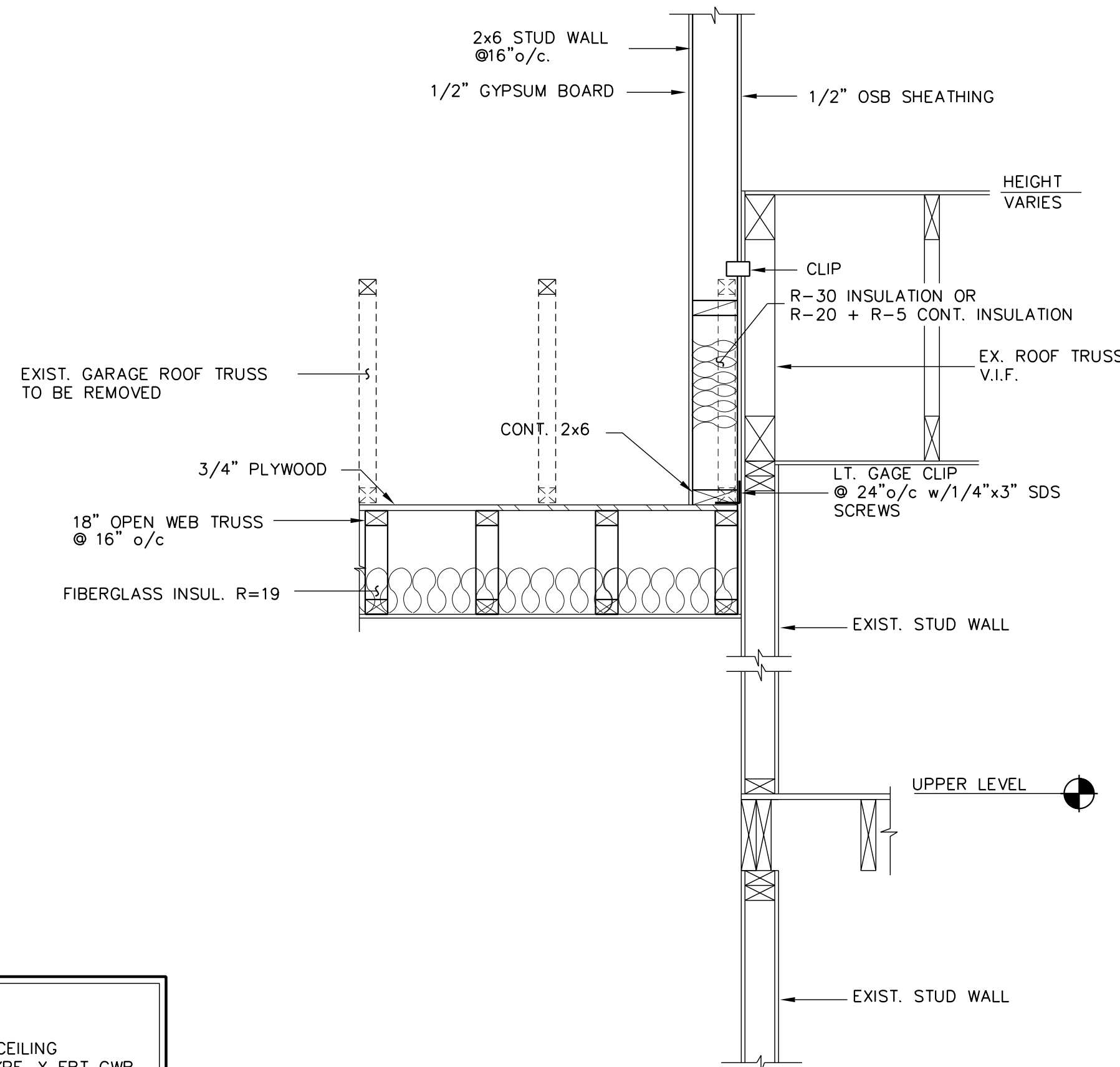


SECTION 6
S2 ~ 3/4" = 1'-0"
NEW ROOF TRUSS PARALLEL TO EXIST. ROOF TRUSS

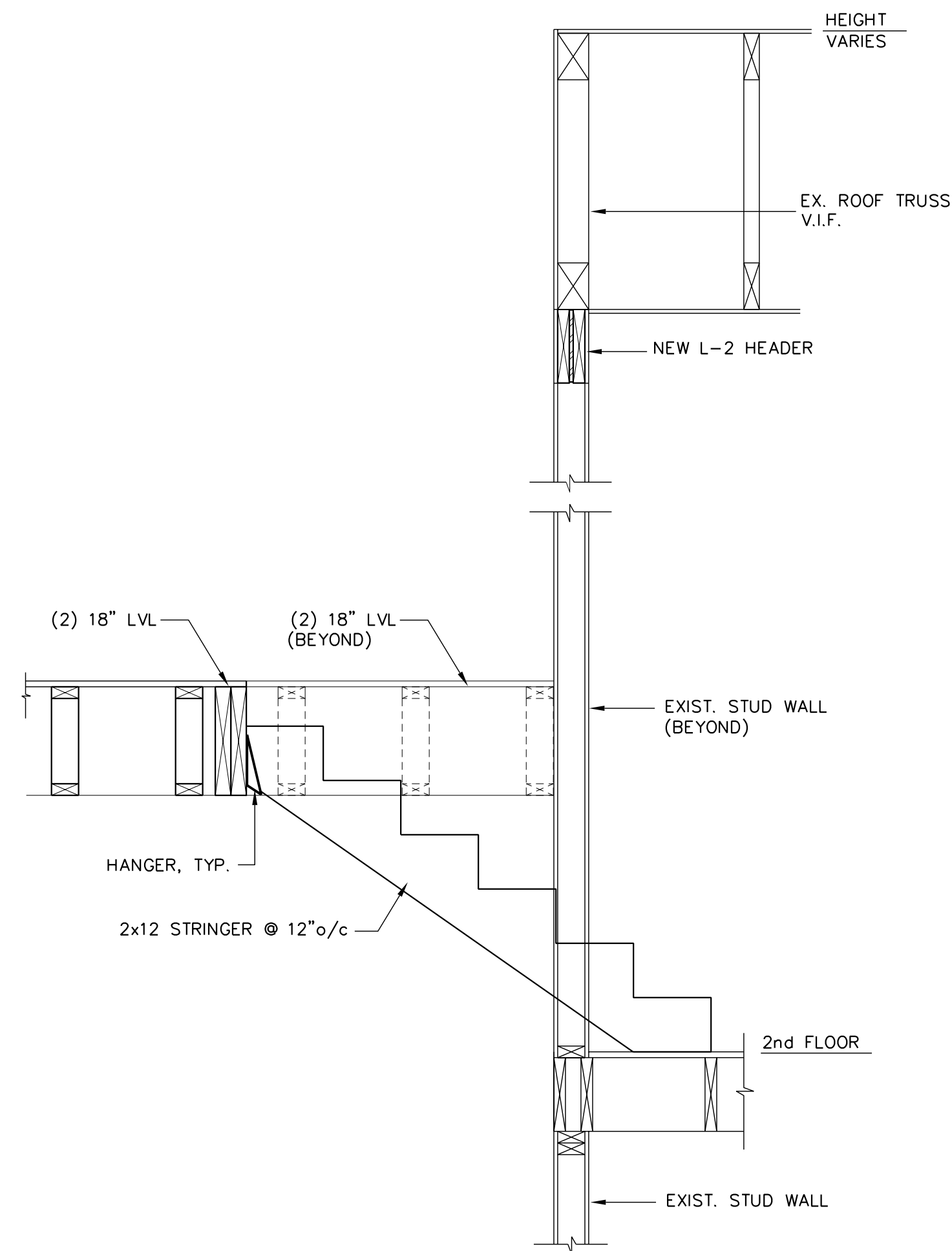


SECTION 1
S2 ~ 3/4" = 1'-0"
NEW FLOOR TRUSS BRG. ON EXIST. EXTERIOR STUD WALL

SHEETROCK NOTE:
GARAGE —
ALL WALLS AND CEILING
TO HAVE 5/8" TYPE-X FRT GWB.



SECTION 2
S2 ~ 3/4" = 1'-0"
NEW FLOOR TRUSS PARALLEL TO EXIST. EXTERIOR STUD WALL



SECTION 3
S2 ~ 3/4" = 1'-0"
FLOOR FRAMING @ STAIR

NOTE:
CONTRACTOR TO VERIFY ALL EXISTING DIMENSION AND ELEVATIONS PRIOR TO PURCHASING OF ANY MATERIAL AND STARTING OF WORK.

Adams - Mirza Engineering, Inc.
1308 South Boyds Street Baltimore, MD 21224
Phone: 410-581-1445
mirza@adams-mirza-eng.com



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 33478, EXP. DATE: 9/15/2024

328 BEAGHAN DRIVE
GLEN BURNIE, MD. 21060

Scale: SCALE AS NOTED

Drawing:

SECTIONS

Submission: PERMIT SET

Sheet No:

S2

AME #: 24200 Date: 6/30/2025

NOTICE TO TITLE EXAMINERS

1. THIS PLAT HAS BEEN APPROVED FOR RECORDING ONLY, SUBJECT TO A SUBDIVISION AGREEMENT WITH ANNE ARUNDEL COUNTY, MD., DATED 7/2/84 AND RECORDED AMONG THE LAND RECORDS OF ANNE ARUNDEL COUNTY, MD. IN LIBER 3816 FOLIO 298.

2. NO SALE OR CONTRACT OF SALE OF SAID LOTS SHOWN HEREON SHALL BE MADE UNTIL THE NECESSARY IMPROVEMENTS HAVE BEEN SATISFACTORILY COMPLETED UNDER AN INSPECTION AGREEMENT AND THE SUBDIVIDER HAS PROVIDED THE COUNTY WITH A WAIVER OF LIENS FROM ALL CONTRACTORS AND SUBCONTRACTORS OR SUCH IMPROVEMENTS HAVE BEEN SATISFACTORILY GUARANTEED BY A PUBLIC WORKS AGREEMENT SUPPORTED BY A SURETY BOND, CERTIFIED CHECK, CASH OR AN IRREVOCABLE LETTER OF CREDIT FROM A LOCAL BANK OR SUCH OTHER SECURITY AS AUTHORIZED BY LAW AND THAT SUCH AGREEMENT HAS BEEN ENTERED INTO BY THE DEVELOPER WITH THE PUBLIC WORKS DEPARTMENT IN ACCORDANCE WITH SUBDIVISION REGULATIONS.

3. NO BUILDING PERMITS SHALL BE ISSUED FOR ANY CONSTRUCTION IN THIS DEVELOPMENT, OTHER THAN SAMPLE PERMITS UNTIL THE REQUIREMENTS OF PARAGRAPH 2, ABOVE, HAVE BEEN COMPLIED WITH.

OWNERS DEDICATION

WE, INTERSTATE VENTURES, INC., BY SIMON ROSENBERG, SECRETARY-TREASURER, OWNERS OF THE PROPERTY SHOWN AND DESCRIBED HEREON HEREBY ADOPT THIS PLAN OF SUBDIVISION ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES AND DEDICATE THE STREETS AND EASEMENTS TO PUBLIC USE, SUCH LANDS TO BE DEEDED TO A CO. UPON REQUEST THERE ARE NOSUITS, ACTIONS AT LAW, LEASES, LIENS, MORTGAGES, TRUSTS, EASEMENTS, OR RIGHTS OF WAYS AFFECTING THE PROPERTY INCLUDED IN THIS PLAN OF SUBDIVISION.

ALL UTILITIES INCLUDING GAS, ELECTRIC, AND COMMUNICATIONS SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH THE PUBLIC SERVICE COMMISSION STATEWIDE RULES OF AUGUST 4, 1971.

THE RECREATION AREA SHOWN HEREON IS HEREBY DEDICATED TO THE USE OF THE RESIDENTS OF THIS SUBDIVISION AND HAS BEEN DEEDED TO THE PLANNING AND ZONING OFFICER OF ANNE ARUNDEL COUNTY, IN TRUST FOR SAID RESIDENTS.

THE REQUIREMENTS OF SUBSECTION 3.108(A)(C) OF ARTICLE 21 OF THE ANNOTATED CODE OF MARYLAND, 1973 EDITION AS FAR AS THEY RELATE TO THE MAKING OF THIS PLAT AND THE SETTING OF THE MARKERS HAVE BEEN MET.

ALL PARTIES IN INTEREST THERE TO HAVE HEREUNTO AFFIXED THEIR SIGNATURES, INDICATING THEIR ASSENT TO THIS PLAT OF SUBDIVISION.

SURVEYORS CERTIFICATE

I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS CORRECT, THAT IT IS A SUBDIVISION OF PART OF THE LAND CONVEYED BY REVERDY DAVIS AND LURETTA DAVIS BY LURETTA DAVIS TO INTERSTATE VENTURES, INC. BY DEED DATED 11-1-83 AND RECORDED AMONG THE LAND RECORDS OF ANNE ARUNDEL COUNTY, MARYLAND IN LIBER 3813 FOLIO 219.

CONCRETE MONUMENTS SHOWN THUS AND IRON PIPES SHOWN THUS WILL BE PLACED IN ACCORDANCE WITH SECTION 13-116 OF THE ANNE ARUNDEL COUNTY CODE.

THE TOTAL AREA INCLUDED IN THIS PLAT IS 10.354 ACRES OF LAND.

Richard W. Bove July 9, 1984
RICHARD W. BOVE REG. LAND SURVEYOR 144

IN COMPLIANCE WITH THE PUBLIC SERVICE COMMISSION OF MARYLAND ORDER NUMBER 60316 DATED JUNE 20, 1973.

OWNER DOES HEREBY GRANT AND CONVEY UNTO THE CHESAPEAKE AND POTOMAC TELEPHONE CO. OF MD., A BODY CORPORATE HEREINAFTER CALLED GRANTEE, ITS ASSOCIATED AND ALLIED COMPANIES AND THEIR RESPECTIVE SUCCESSORS, ASSIGNS AND LICENSEES A R/W EASEMENT TO CONSTRUCT, OPERATE, MAINTAIN, ENLARGE, REPLACE AND REMOVE TELECOMMUNICATIONS, ELECTRIC, AND GAS SYSTEMS, CONDUIT, PIPE, MANHOLES, CABLES, WIRE, AND FIXTURES UNDER AND OVER THE PROPERTY AS DESCRIBED AS FOLLOWS:

A STRIP(S) OF LAND 10' WIDE AND PARALLEL CONTIGUOUS AND ADJACENT TO THE PROPERTY LINES OF THE LOTS RECORDED TO THE FULL EXTENT THAT SUCH PROPERTY LINES ABUT RIGHT OF WAYS.

TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS TO SAID PROPERTY AT ALL TIMES FOR THE SAFE AND PROPER OPERATION AND MAINTENANCE THEREOF THE GRANTEE AGREES TO REPAIR OR PAY FOR ALL DAMAGE TO CROPS, LAWNS, FIELDS, FENCES, DRIVEWAYS, AND WALKWAYS ARISING FROM THE CONSTRUCTION AND MAINTENANCE OF THE AFORESAID SYSTEMS.

A TEMPORARY GRADING EASEMENT IS RESERVED ON ALL THE LOTS SHOWN HEREON BETWEEN THE RIGHT OF WAY LINES AND THE BUILDING RESTRICTION LINES FOR THE PURPOSE OF ROAD CONSTRUCTION. SAID EASEMENT WILL TERMINATE UPON COMPLETION OF THESE ROADS AND THE RELEASE OF ANY MAINTENANCE BOND BY A COUNTY, MARYLAND.

THE REQUIREMENTS OF THE ANNE ARUNDEL COUNTY HEALTH DEPARTMENT HAVE BEEN MET IN PREPARING THIS PLAT.

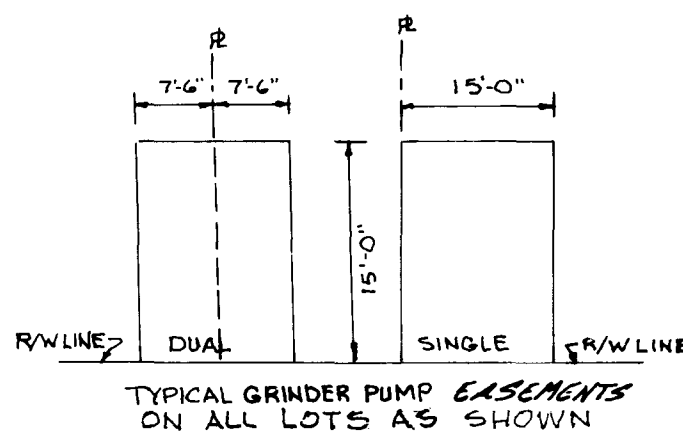
J. Howard Beard 8/28/84
COUNTY HEALTH OFFICER (PUBLIC SYSTEMS) DATE

B. Francis Beck Kuebler 11-20-84
PLANNING & ZONING OFFICER A & CO. MD. DATE

WAVEN * 1271 TO SIDEWALK CONSTRUCTION ALONG DUNEGAL BAY DRIVE APPROVED 12/4/82

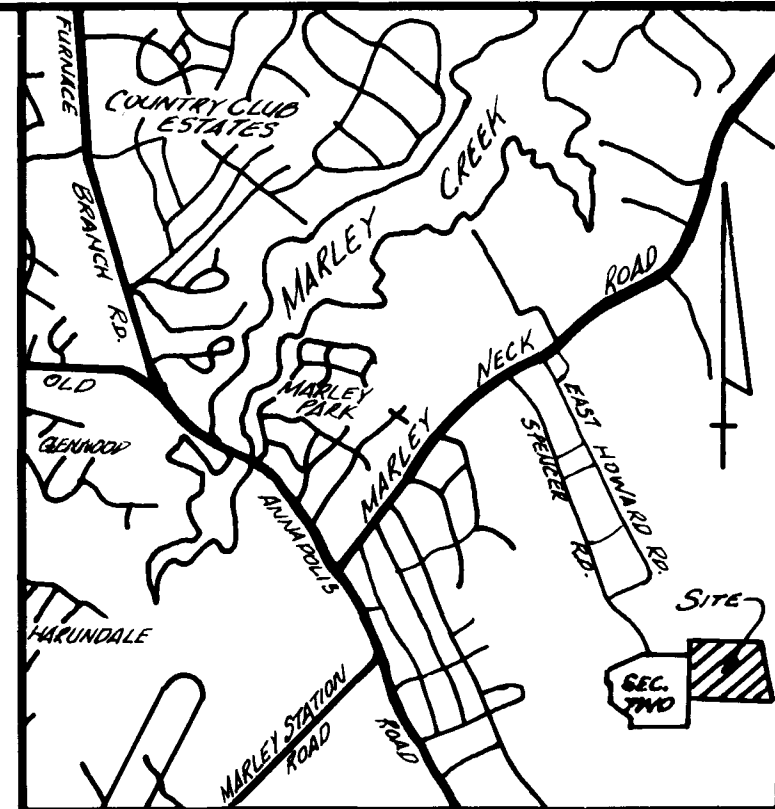
SUB # 82-105 PROJECT # 83-031

ANAREX, INC.
ENGINEERS - SURVEYORS
EXPEDITORS - PLANNERS
503 RITCHIE HIGHWAY - IE
SEVERNA PARK, MARYLAND



POINT	NORTH	EAST	POINT	NORTH	EAST
1	880,251.18	919,043.19	17	480,124.80	919,553.77
2	880,161.71	919,043.93	18	480,096.05	919,455.40
3	880,137.12	919,031.67	19	480,110.12	919,483.16
4	880,034.73	919,063.44	20	480,198.48	919,388.18
5	880,021.63	919,087.51	21	480,220.76	919,390.04
6	879,969.19	919,120.05	22	480,198.76	919,336.04
7	879,963.99	919,122.61	23	480,183.79	919,331.08
8	879,932.89	919,119.38	24	480,093.43	919,385.97
9	879,796.38	919,024.04	25	480,063.07	919,371.90
10	879,729.10	919,033.87	26	480,018.95	919,247.66
11	879,776.91	919,070.01	27	479,988.83	919,193.36
12	879,967.44	919,066.02	28	479,945.68	919,162.83
			29	479,958.88	919,160.63
			30	480,262.94	919,095.79
15	480,116.74	919,644.18	31	480,282.49	919,090.05
16	480,161.13	919,569.40			

CURVE TABLE					
NO	Δ	1/2 Δ	TANGENT	CHD BEARING	DISTANCE
1-2	603.00'	12° 41' 06"	89.67'	43.02'	N 60° 28' 48" W 89.48'
3-4	53.00'	154° 11' 06"	148.00'	-23° 29.06'	N 17° 15' 36" W 107.62'
5-6	603.00'	8° 45' 48"	61.71'	30.91'	N 35° 04' 21" W 61.65'
8-9	603.00'	43° 43' 26"	167.66'	85.85'	N 35° 01' 33" E 166.86'
11-12	353.00'	43° 17' 18"	280.60'	148.89'	S 43° 18' 40" W 273.36'
15-16	55.00'	255° 31' 21"	245.28'	-71.00'	N 59° 16' 22" W 86.96'
16-17	23.00'	75° 31' 21"	32.95'	19.36'	N 30° 41' 38" E 30.61'
20-21	23.00'	33° 07' 48"	23.18'	12.30'	S 65° 01' 12" W 22.36'
21-22	30.00'	286° 15' 36"	289.80'	-39.30'	N 68° 27' 18" E 60.00'
22-23	23.00'	33° 07' 48"	23.18'	12.30'	N 68° 26' 36" W 22.36'
28-29	603.00'	8° 45' 48"	38.07'	29.89'	N 68° 20' 51" E 38.07'
29-30	353.00'	43° 17' 18"	279.20'	147.26'	S 43° 18' 31" E 276.04'



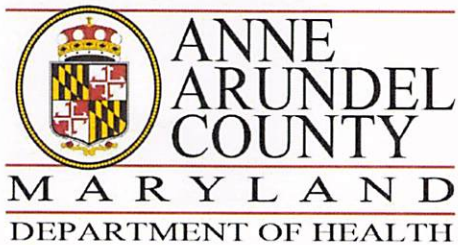
SOUTHEAST DEVELOPMENT CO. HEREBY GRANTS ANNE ARUNDEL CO. AND THE STATE OF MARYLAND THE PERPETUAL RIGHT TO DISCHARGE THE FLOW OF STORM WATER FROM THE STORM DRAINAGE SYSTEM UPON THE GROUND AT THE POINTS INDICATED THUS

S. John Blumenthal 4/10/84
SOUTHEAST DEVELOPMENT CO. DATE

AREA CHART
RECREATION AREA: 1.046 Ac. ±
ROADS: 1.826 Ac. ±
40 S.F. LOTS: 7.482
TOTAL AREA: 10.354 Ac.

- NOTES
1. LOT NUMBERS 1 THRU 40 TO BE SERVED BY ALTERNATE WASTEWATER SYSTEM (GRINDER PUMPS).
 2. ANNE ARUNDEL COUNTY SHALL HAVE THE RIGHT OF ACCESS UPON THE LOTS FOR INSTALLATION, MAINTAINING, AND OPERATING THE ELECTRICAL SYSTEMS OF THE GRINDER PUMPS.
 3. THE LOT OWNER WILL BE RESPONSIBLE FOR THE MONTHLY ELECTRICAL OPERATING CHARGES.
 4. THE LOT OWNER SHOULD BE MADE AWARE THAT INSTALLATION OF THE ALTERNATE SYSTEM MAY RESULT IN CHARGES ADDITIONAL TO NORMAL SEWER USAGE CHARGES IF MORE COSTLY THAN CONVENTIONAL SYSTEM.

WOODS OF SHANNON
3rd ASSESSMENT DISTRICT ANNE ARUNDEL COUNTY, MD.
SCALE 1"=100'
100 50 0 100 200
MARCH, 1983




J. Howard Beard Health Services Building
3 Harry S. Truman Parkway
Annapolis, Maryland 21401
Phone: 410-222-7095 Fax: 410-222-7294
Maryland Relay (TTY): 711
www.aahealth.org

Tonii Gedin, RN, DNP
Health Officer

MEMORANDUM

TO: Sadé Medina, Zoning Applications
Planning and Zoning Department, MS-6301

FROM: Brian Chew, Program Manager
Bureau of Environmental Health 

DATE: August 11, 2025

RE: WMB, LLC
328 Beaghan Drive
Glen Burnie, MD 21060

NUMBER: 2025-0149-V

SUBJECT: Variance/Special Exception/Rezoning

The Health Department has reviewed the above referenced variance to allow a dwelling addition (2nd story over garage) with less setbacks than required.

The Health Department has reviewed the above-referenced request. The property is served by public water and sewer facilities. The Health Department has no objection to the above-referenced request.


If you have further questions or comments, please contact Brian Chew at 410-222-7413.

cc: Sterling Seay

328 Beaghan Drive (2025-0149-V)



- Legend
- Foundation
 - Addressing
 - Parcels
 - Parcels - Annapolis City



03570

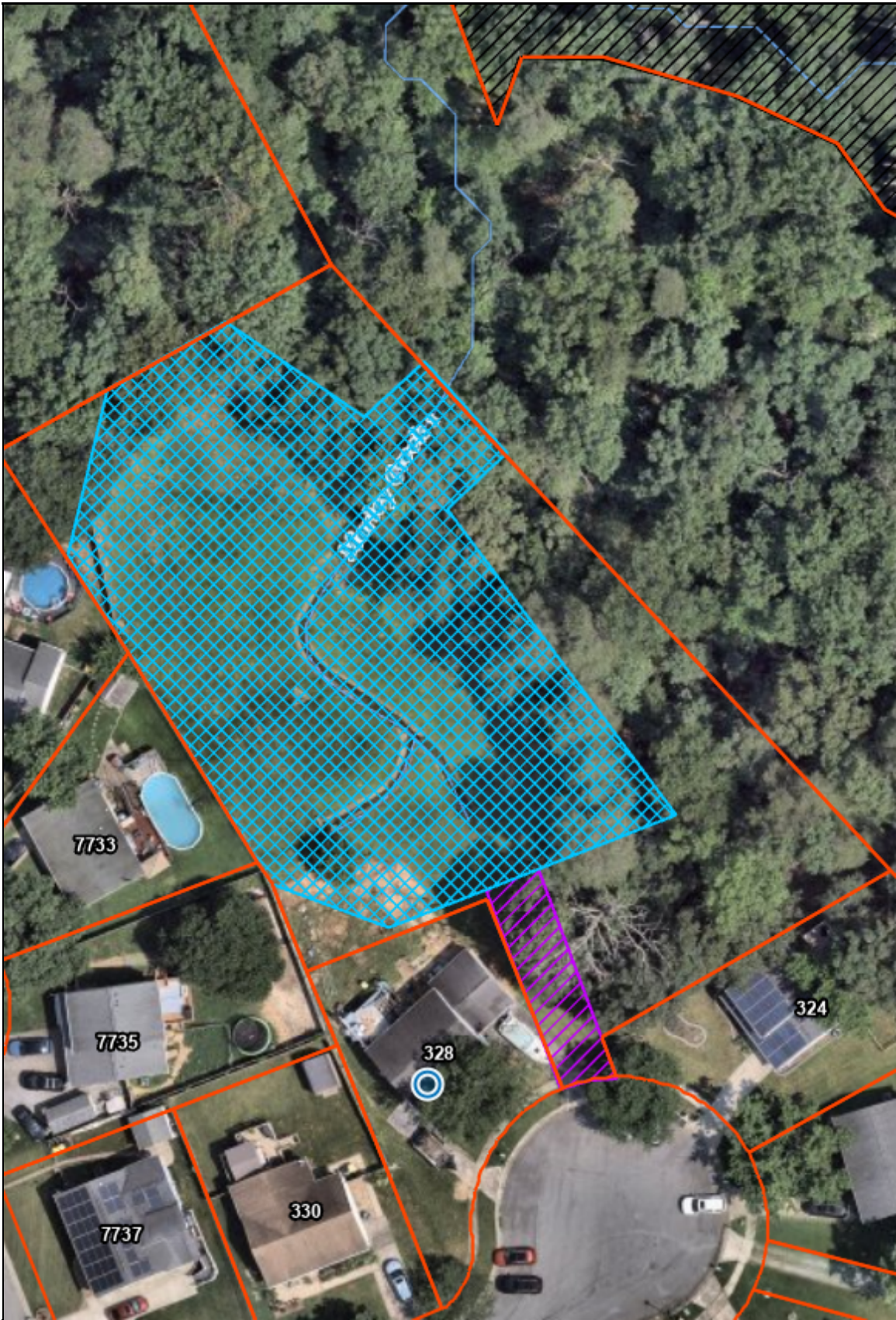
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Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
DO NOT USE FOR NAVIGATION.

Nearmap

Notes

stormwater management pond easements (2025-0149-V)



Legend

- Foundation
- Addressing
- Parcels
- Parcels - Annapolis City
- Utility
- County Utility
- ACCESS
 - CONSERVATION
 - DRAINAGE
 - UTILITY
 - MULTI-PURPOSE
 - OTHER
 - LICENSE
 - PEDESTRIAN
 - MOU
 - UNDETERMINED



0 50 100 ft

This map is a user generated static output from an Internet mapping site and is for reference only.
Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.
DO NOT USE FOR NAVIGATION.

Nearmap



Notes