Lisa Perez 1036 Baltimore Hill Rd Crownsville MD, 21032 (443) 924-4345 Lmperez2412@gmail.com

To whom it may concern;

The following letter of explanation is a formal request for a variance to complete an addition on the current property of 1036 Baltimore Hill Rd, Crownsville MD 21032. The property is currently zoned as Residential Low Density.

The current Setback requirements for Residential Low-Density area is Front 50 feet, Rear 40 feet and Corner Side 40 feet. However, due to the unique characteristics of the property, a strict adherence to this requirement creates an unnecessary hardship. 1036 Baltimore Hill Rd is a triangular shaped property totaling 1.1800 acres where the current one floor 14'4 height home/structure sits closest to the corner of Baltimore Hill Rd and Generals Hwy. Generals Hwy is considered the front of the property and Baltimore Hill Rd is considered the side/back of the property. The property is slightly sloped around the edges of the property but the steepest slop to be disturbed for this addition will be 1%. The original structure on this property was built in 1940 prior to the standard setback requirements.

It is also important to note that according to the current deed and survey for 1036 Baltimore Hill Rd, the property also includes 1035 Generals Hwy making a combined total of 2.5 acres. The State's acquisition of land for the creation of MD 178/Generals Hwy split the property creating undue hardship to comply with the current setback requirements to complete the requested extension.

Because of the current placement of the home and the State's acquisition of land close to the original structure at 1036 Baltimore Hill Rd, there is no reasonable possibility of developing the lot, specifically adding an addition of any square footage connected to the home horizontally or vertically that would meet the current setback codes.

The proposed addition, as detailed in the attached site plan, is to add an additional 486 Square Feet at 14'4 in height to the current 1002 square foot one floor home closest to Generals Hwy. The site of the addition is the only reasonable space to be able to place the addition as behind the house closest to the corner of Baltimore Hill Rd and Generals Hwy holds the Septic system and the front of the home is the driveway and would not allow for enough space for the requested square footage. The placement of the proposed addition would make the shape of the home a rectangle and look more esthetically pleasing.

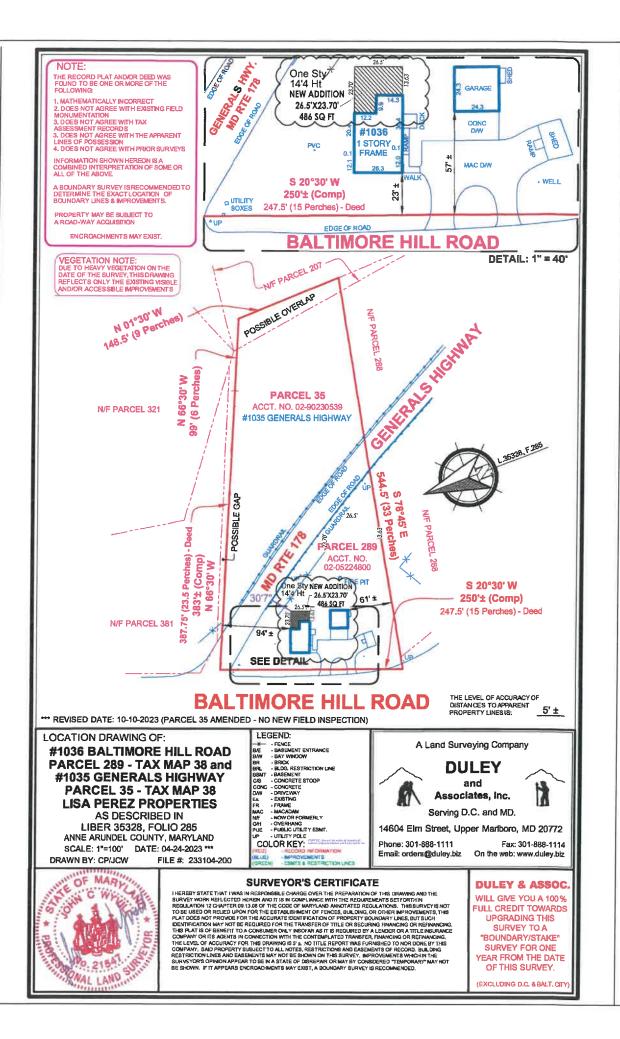
This addition will be sited at 30 feet 7 inches from the front property line, requiring a reduction of 19 feet 5 inches to the front setback. The variance, if granted, is the minimum necessary to provide the relief sought and will not negatively impact adjacent properties or the overall character of the neighborhood. The area the addition will be made is well vegetated obscuring the view from those on Generals Hwy and will have limited view from those on Baltimore Hill Rd.

Thank you for your time and consideration. I can be contacted via phone or email if additional information or clarification is needed.

Sincerely,

Lisa Perez

Lisa Perez (443) 924.4345 Lmperez2412@gmail.com



GENERAL NOTES

CONSTRUCTION SHALL CONFORM TO ALL CODES AND REGULATIONS HAVING JURISDICTION OF ANNE ARUNDEL

ALL TRADES PERFORMING WORK SHALL MEET OR EXCEED CODE REQUIREMENTS WITH REGARD TO MATERIALS. CONSTRUCTION, AND INSTALLATION METHODS.

ALL TRADE (PLUMBING, ELECTRICAL AND MECHANICAL) DWGS ARE SCHEMATIC EACH APPLICABLE CONTRACTOR TO INTRODUCE NEW WORK AND TIE INTO EX. WHERE APPROPRIATE IN MOST EFFICIENT MANNER WHILE COMPLYING

THESE DRAWINGS HAVE BEEN DEVELOPED IN COORDINATION WITH PROJECT SPECIFICATIONS. THE DRAWINGS AND SPECIFICATIONS SHALL BE USED TO COMPLEMENT EACH OTHER.

REVIEW CONTRACT DOCUMENTS AND FIELD DIMENSIONS AND CONDITIONS. CONFIRM THAT WORK IS BUILDABLE AS SHOWN, PROMPTLY REPORT ANY ERRORS, CONFLICTS, OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION, IF THE CONTRACTOR FAILS TO NOTIFY ARCHITECT OF A KNOWN NONCONFORMITY, THEN THE CONTRACTOR IS TO PAY SUCH COSTS AND DAMAGES TO THE OWNER AS WOULD HAVE BEEN AVOIDED IF NOTIFICATION HAD BEEN PERFORMED.

COORDINATE WORK WITH THE OWNER/TENANT, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERES. BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS, MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.

CONTRACTOR SHALL ENSURE THAT CONTRACTOR EMPLOYEES AND SUBCONTRACTORS SHALL COMPLY WITH ALL BUILDING RULES AND REGULATIONS.

OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT.

INCLUDE THESE IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION

COORDINATE WITH TELECOMMUNICATIONS, DATA, AND SECURITY SYSTEM INSTALLATION.

MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND

WORK AREAS TO BE SECURE AND LOCKABLE DURING CONSTRUCTION, COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY.

PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.

DURING CONSTRUCTION, EACH TRADE SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THEIR WORK.

DRAWING INDEX

A001 ARCHITECTURAL NOTES

ARCHITECTURAL - DETAILS / SCHEDULE NOTES A002 A003 ARCHITECTURAL - EXISTING CONDITION A004 ARCHITECTURAL - ARCHITECTURAL

ARCHITECTURAL - ELEVATION PLAN SOOT STRUCTURAL NOTES

\$002 STRUCTURAL - FOUNDATION & FRAMING 2003 STRUCTURAL FRAMING & SECTIONS

5004 STRUCTURAL BRACED WALL

SCOPE WORK

NEW ADDITION - 1 STORY (486 SQ. FT.)

INSULATION / ENERGY NOTES

CLIMATE ZONE: 4 WINDOWS/DOORS GLAZED FENESTRATION II- FACTOR: 0.32 WINDOWS/DOORS GLAZED FENESTRATION SHGC: 0.55 SKYLIGHT U- FACTOR: 0.40 SKYLIGHT SHGC: 0,40 CEILING R -VALUE: 49 WOOD FRAME WALL R-VALUE: 20 OR 13+5 MASS WALL R - VALUE: 8/13 FLOOR R - VALUE: 19 BASEMENTIC WALLIR-VALUE: 10/13

SLAB of R - VALUE & DEPTH: 10.2ft CRAWL SPACE c WALL R-VALUE: 10/13

OWNER INFORMATION 1036 BALTIMORE HILL RD CROWNSVILLE MD 21032 PROPERTY INFORMATION

EXISTING CONDITION PROPOSED SDF 1 STORY OFFICE & REC ROOM

JURISDICTION: ANNE ARUNDEL COUNTY YEAR:1940

LOT: 2.50 ACRES PARCEL #: 0200005224800

APPLICABLE CODES

ANNE ARUNDEL COUNTY INTERNATIONAL BUILDING CODE / 2021 INTERNATIONAL EXISTING BUILDING CODE (IEBC) / 2021 INTERNATIONAL ENERGY CONSERVATION CODE / 2021 INTERNATIONAL RESIDENTIAL CODE / 2021



IRC 2021 DESIGN CRITERIA

Roor Live Load 40 spf Roof Live Load 30 spf Dead Loads 10 spf Ground Snow Load 25 spf Wind Speed Exposure 115 mph Seismic Design Category A Weathering Severe Frost Line Depth 30°

Termite Area Moderate to Heavy Decay Area Slight to Moderate

Winter Design Temperature 13 F Ice Shield Underlayment Yes, Required Rood Hazard

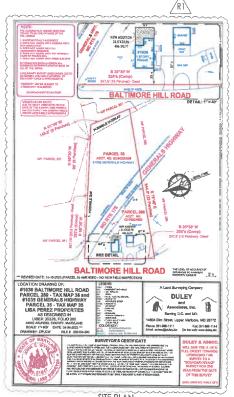
Air Freezing Index 300

Mean Annual Temperature 55 F









SITE PLAN SCALE: INDICATED DATE

Vican

30/06/2025 SCALE:

COVER SHEET

BALTIMORE HILL RD WNSVILLE MD 21032

1036 CRO

TITLE

N/S SHEET:

G001

GENERAL RECURRENTS

NORK PERFORMED SHALL COMPLY WITH THESE GENERAL NOTES LINLESS OTHERWISE NOTED ON PLANS. WORK PERFORMED SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND

CN-SITE VERRICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HS SUBCONTRACTORS. DISCREPANCIES: THE CONTRACTOR SHALL COMPARE AND COORDINATE ALL DRAWINGS; WHEN IN THE

CRIMON OF THE CONTRACTOR A DECREPANCY EXETS, HE SHALL PROMPTLY REPORT IT TO THE DESIGNER FOR THE PROPER ADJUSTMENT REPORE PROCEEDING WITH THE WORK.

ALL WORK IS TO BE PERFORMED IN A PROFESSIONAL MAINER AND IN ACCORDANCE WITH STANDARD PRACTICE AND SHALL BE IN SERICE COMPLIANCE WITH THE MANUFACTURES SPECIFICATIONS AND/OR RECOMMENDATIONS.

CMISSIONS: IN THE EVENT CIBITAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THER CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SHALAR CONDITIONS THAT ARE SHOWN OF NOTED

DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED, ALL DIMENSIONS ARE TO THE ROUGH LINLESS NOTED DISNEWING.

THE GENERAL AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE DRAWINGS, INSPECT THE SITE AND ACQUAINT THEMSELVES WITH ALL GOVERNING ORDINANCES, LAWS, EYC... AND OT FAMILIARZETHEMSELVES WITH ALL MATTERS WHICH MAY AFFECT PERFORMANCE OF THE WORK.

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CONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF ALL PHASES OF CONSTRUCTION WITH THE BUILDING OWNER, ALL OTHER BRADES, AND THE CITY WILL DINGS OF BOTH 1 PHORE TO CONSTRUCTION COMPARION SHALL RESERVORMED FOR COMPARIENCE OF ALL PRACES OF COMPRECION WITH PREMAZURO SHALL RESERVORMED AND HELD RESERVORMED FOR COMPARIENCE OF COMPRECION WITH THE COMPARIENCE ANALOGO THE COMPARIENCE AND CONSIDER A RESERVORMED INSTITUTE OF PREMAZURORMED ANALOGO THE COMPARIENCE AND CONTROL PREFICIO TO WARR THE MULCOADON AND CLEARNICES OF COMPARIENCE MICHAEL STATE OF COMPARIENCE OF REMAZURATE OF THE COMPARIENCE AND COMPARIENCE AND COMPARIENCE AND CLEARNING AND CLEARNING

ANY DISCREPANCIES SETWEEN THE CONSTRUCTION DOCUMENTS AND THE CONDITIONS DISSERVED SHALL BE BROUGHT TO THE ATTENTION. IN WRITING, TO THE ARCHITECT PRIOR TO PROCEEDING WITH

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ALL WORK IS TO BE DONE BY GENERAL CONTRACTOR, EXCEPT AS NOTED OTHERWISE

THE CONTRACTOR SHALL PERFORM ALL WORK, TASK AND SUPPLY ALL MATERIALS AND EQUIPMENT IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS OF THE CITY AND STATE. HE GENERAL CONTRACTOR IS TO PROVIDE TEMPORARY LIGHT, TELEPHONE, CLEAN UP SERVICE, AND REMOVE ALL TEMPORARY WORK PROR TO COMPUTION OF JOB.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR HAVING THE SUSCONTRACTORS COORDINATE THIS WORK WITH THE WORK OF THE OTHER TRADES INCLUDING WORK NOT IN THE CONTRACT.

THE CONTRACTOR IS TO KEEP A FULL SET OF UP-TO-DATE PLANS AVAILABLE AT THE JOB RITE AT ALL TIMES.

THE COMPANIES AND REPORTING OF REPORTING AND ADMINISTRATION AND PROPRIES AND ADMINISTRATION AND PROCESSAN AND PROC

THE OWNER, ARCHITECT, OR ENGINEER WILL NOT BE RESPONSIBLE FOR ANY VERBAL INSTRUCTIONS

ALE SCRAP FROM LUMBER, CRATING, PAPER, AND SIMILAR TYPES OF IRASH ARE TO BE REMOVED FROM THE SITE ON A DAILY BASIS. TRASH IS NOT TO BE ALLOWED TO ACCUMILIATE

ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF SHALL PAYMENT, CONTRACTOR TO PROVIDE SUPPLY AND INSTALL ALL GOLPHENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE CONFILED APPROVED INSTALLATION OF THE SYSTEMS AS CALLED FOR.

ALL MATERIALS, CONTRIGEROY AND PENBERS TO BE PRE RATED. RREPROC YED AND FIRE RETARDANT TO MEET LOCAL SAME, AND APPLICABLE FIRE CODES, ALL MATERIALS TO SE NEW AND OF THE BES DUALITY AVAILABLE AND SHALL BE DUTYM RATED AS REQUIRED, NO COMPLETIBLE MATERIALS ARE TO BE INSTALLED ABOVE CBLING GRID.

THE CONTRACTOR SHALL KEEP ALL HANDSOOKS, PAPERWORK, AND KEY IN A MARKED ENVELOPE, ALL KERS TO BE TAGGED WITH PROPER LOCATIONS, INS. SHAVE OPE SHOULD BE TURNED OVER TO THE LANGUARDOVERS WITH CERTIFICATE OF OCCUPANCY.

TIS SHALL BE THE REPORTMENT OF THE GENERAL CONTINUED TO MAKE A CARETIL INSPECTION OVER THE CONSTRUCTION AS A WHOLE ASSUMED PROJECTS HAVE DE WORK ON THAT PART OF THE PROJECTS FRANCE FOR THAT A PROJECT AND OWNER FOR MAKE A SHALL INSECTION.

THE TEMANT, GENEFAL CONTRACTOR, SUSCIONINACTORS, AND GINER REPRESENTATIVES SHALL BE FAMAJAR WITH ALL PORTIONS OF THE LEASE AGREEMENT WHICH GOVERN THE DESIGN OF THE LEASED PREMISES. THE CONTRACTOR SHALL OBTAIN AND REVIEW A SET OF ALL RULES AND REGULATIONS PRICE TO SIMMITHING AND THE SET OF THE PROPERTY OF THE PROPE

CONTRACTOR SHALL INSTALL GROWNERS AS NEEDED AT ALL BUILT IN COUNTERS AT VOCATIONS OF RECTRICAL AND RELE/DATA CUTLETS, TYPICAL THROUGHOLT.

CONTRACTOR SHALL FURNISH AND INGIALL ALL MATERIALS AS REQUIRED TO COMPLETE CONSTRUCTION OF THIS PROJECT, UNLESS OTHERWISE NOTED.

FIFENION OF THESE DOCUMENTS IS TO PROVIDE FOR THE CONSTRUCTION OF BHS PROJECT COMPLETE AND FUNCTIONAL IN ALL RESPECTS. ALL CONTRACTORS SHALL BE REPONDED FOR THIS RESULT. THE COMISSION OF EXPRESS REPERSINCE TO WORK INCOSCAPY AND PRASONARY INCOMINATION OF THE COMPLETE CONSTRUCTION OF THE PROJECT SHALL NOT BE CONSTRUED AS RELEASING THE CONTRACTOR AND/OR SUBCOMITACTOR FROM HIS PERPONSIBILITIES.

SHOULD THE CONTRACTOR OBSERVE BROKE, DECREPANCIES OR OMSSIONS IN THE CONTRACT OCCUMENTS HE SHALL PROMPTLY MOTHS THE ARCHRECT REQUISING CLARRICATION, ADJUSTMENT HENVIXIMG SUCH CONDITIONS ANDER BY THE CONTRACTOR WHITEUIT PROOF CLARRICATION BY THE ARCHITECT, SHALL BE AT THE CONTRACTOR'S OWN RISK. COMPLICATIONS ARISING FROM PROCEEDING WITHOUT CLATHICATION SHALL BE RESOLVED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR AND SUBCONTRACTOR SHALL READ THISES ARCHIECTURAL DOCUMENTS IN CONJUNCTION WITH ALL DHER DESCRIPTOR DOCUMENTS CONTRACTOR AND SUBCONTRACTOR SHALL REVAILED AND DEPART SHALL REVAILED OF HER CONTRACTOR AND DEPART SHADS. AND SHALL BE A SHALL BEAUTHOR PREAMED THE CONTRACT AND ALL INCLUDES WORK ON FLANS IN OHITE SHALL BEAUTHOR OF HER CONTRACT AND ALL INCLUDES WORK ON FLANS IN OHITE SHALL BEAUTHORS.

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THE BID THALL BE BASED ON THE USE OF ALL EQUIPMENT, MAZERIALS, MANUFACTURERS AND SYSTEMS DESCRIBED IN THIS SET OF CONTRIBUTION CONTRACT DOCUMENTS UNIESS SPECIFICALLY INDICATED

ANT DECRETANCIES SETVENTHE CONSTRUCTION DOCUMENTS AND THE CONDITIONS DISERVED SHALL SE BROUGHT TO THE ATTENTION, IN WISTING, TO THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION. GENERAL CONTRACTOR TO PROVIDE BIDING BASED ON AIA FORMS G702 OR FOLLOWING INSTRUCTIONS

REGULATORY AGENCIES

WORR SHALL BE COMPLETED USING BEST CONSTRUCTION FRACTICES AND MEET CURRENT CODES AND REQUIREMENTS OF PREVAILING JUNISCICIONS, WHEN SUCH CONFIDENCE IS NECONSTRUCTION WITH THE CONSTRUCTION DRAWNING, HE CONSTRUCTION SHALL NOTIFY ACCEPTED OF ANY EXCONSISTENCIES. ELECTRICAL SURFINES SHALL BE INSTALLED TO MEET U.L., AND N.E.C. REQUIREMENTS

STORAGE, DEPENDING AND/OR USE OF ANY FLAMMABLE OR COMBUSTIBLE UGUIDS, PLAMMABLE OR COMBUSTIBLE UGUIDS, FLAMMABLE GASES, AND MACARDOUS CHEMICALS SMALL COVERLY WITH THE UNIFORM PRE-CODE/REGULATIONS AND LOCAL ORDINANCES.

PROVIDE ACCESS PANELS TO ALL CONCEALED SPACES, VOIDS, ATTICS, ETC., VOIDEY THE TYPE REQUIRED WITH

INSULATION MATERALS MUST BE IN COMPTIANCE WITH THE REAME SPREAD AND SWOKE DENSITY REGUMENAMENS AND SMALL BE CERTIFIED BY THE MANUFACTURES TO MEET LOCAL STANDARDS FOR INSULATING MATERIALS

ALL EXTERIOR DOORS AND WINDOWS SHALL BE DESIGNED TO LINIT AR CONFORM TO LOCAL JURISDICTION CODES THE CONTRACTORS SHALL VERSEY THAT ALL PERMISS AND APPROVALS HAVE REEN ORGANISH FROM

APPECIFICATE AGENCIES TO THE START OF CONSTRUCTION, INC. CONSTRUCTION THAT SECTION INFO.

UNITE THE CONTRACTOR HAS RECEIVED ALL APPROVED PLANS AND ANY CHIER DOCUMENTS FROM ALL PERMITTING AND OTHER EDUCATION AND ANY CHIER DOCUMENTS.

NO MATERIAL SHALL BE STORED ON PUBLIC PROPERTY UNLESS AN ENCRCACHAENS PERMIS IS BEST NED FROM THE PUBLIC WORKS DEPARTMENT

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A RECORD OF INSPECTIONS & APPROVED PERMIT SET SHALL BE MAINTAINED ON THE JOB SITE

IN ACCORDANCE WITH REGULATORY AGENCY CODES.

THE CONSTRUCTION DOCUMENTS ARE NOT, NOR THEY INTENDED TO BE A CONFLETE REPRESENTATION OF ALL PARTICULARS RELATING TO ALL CODES. THE CONTRACTOR SHALL BE SOLELY RESPONSIB ALL WORK REQUIRED TO OBTAIN NECESSARY APPROVALS FROM PREVALING JURISDICTIONS.

THESE DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF SERVICE ARE THE EXCLUSIVE PROPERTY OF THE FIGURE OWNERS OF THE PROJECT OF THE WIND THE WIND SET OF THE SECURITY FOR THE PROJECT OF THE AGENT OF THE WIND SECURITY OF THE WIND SECURITY OF THE WIND SECURITY OF THE WIND SECURITY OF THE SECURITY OF THE

FREPARATION FOR CONSTRUCTION

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THE CONTRACTOR SHALL CONPLETELY FAMILIABITE THEMSELVES WITH THE CONSTRUCTION DOCUMENTS PRIOR TO THE CONMENCEMENT OF WORK.

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GRADES AT THE TIME OF SURVEY WAS FURNISHED TO THE DESIGN TEAM BY THE OWNER, CONTRACTOR SHALL VEHILY THE CONDITIONS FRICE TO STARTING WORK.

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CONSTRUCTION DICCUMENTS INCLUDE BUT ARE NOT LIVERED TO: SPECIFICATIONS, CONSTRUCTION CHANGE DIRECTIVES, CLARRICATIONS, ARCHITECTURAL DRAWINGS, ADDENDA, AND CHANGE DIRECTS.

ONLY CONSTRUCTION DOCUMENTS BEARING THE WET SIGNATURE OF THE ARCHITECT/ENGINEER SHALL BE USED IN THE EXECUTION OF THE WORK. THE CONSTRUCTION DOCUMENTS REPRESENT THE DESIGN INTENT OF THE RINSHED WORK, THEY DO NOT

MATRATE EVERY CONDITION. THE DOCUMENTS BADICATE LOCATIONS, DIMENSIONS, AND TYPICAL DEVALLS FOR THE EVERY CONDITION OF THE EVERT THAT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT THOMN OF OTED. THEN THER CONSTRUCTION SHALL SE OF THE SAME GENERAL CHARACTER AS SWARM CONDITIONS

ANY CONFLICTS, DISCRÉPANCIES, OMISSIONS, OR BRROKS IN THE CONSTRUCTION DOCUMENTS SHALL RAVEDIATED SE BECUSAIT TO THE ATIENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE SPECILLE PORTIONS WORK.

CONFIRMATION SHALL FURCHASE AND MAINTAIN INSURANCE COVERAGE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LANGLOSS AND THE TENANT, VERBY AND COORDINATE WITH OWNER ANY ADDITIONAL REQUIREMENDATE SHOUGH HE WARRANT PERIOD. THE CONTRACTOR SHALL HE RESPONDING FOR VEREYING ALL HEASUREMENTS IN THE HELD BEFORE

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THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING THE NEW WORK IN ACCORDANCE WITH THE PROPERTY LINES, SET BACKS, AND GUIDELINES AS SHOWN IN THE CONSTRUCTION DOCUMENTS.

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THE CONTRACTOR SHALL VERBY THAT NO CONFECTS EAST IN LOCATION OF ANY AND ALL MECHANICAL TELEPRICES. ELECTRICAL PLUMBING AND SPRINTER EQUIPMENT FOR INCLUDE ALL PRINTS, DICCIT WORK AND CONFECT, AND ADMINISTRANCE OF ARMY SPRINTSHAMON AND MAINTENANCE OF ARMY SPRINTSHAMON. are provided. Exposed or concealed elements shall be determined and review with arch o construction proceeding.

WRITEN DWENSIONS TAY'E PRECEDENCE. DO NOT SCALE DRAWINGS. IF DIMENSION ARE NOT SHOWN AND CANNOT BE DETERMINE BY LAYOUT CRIFERIA, OR IF DISCREPANCIES ARE NOTED, NOTITY APPHRECT. DIMENSIONING LAYOUT BEGINS WHERE THE START POINT IS INDICATED ON THE DRAWINGS.

WHERE A DRAWING DIMENSION IS NOTED AS "CLEAR" (CLR) THIS DIMENSION SHALL INDICATE CLEARANCES AT COMPLETED CONDITIONS, MIDIST PUBLICATIONALISM OF COUNT.

ALL DIMENSIONS HOFED "VERIO" AND "VERIO" IN RELD: (WIF) TO BE CHICKED BY CONTRACTOR PRIOR TO CONSIDERION), IMMEDIATELY REPORT ANY DISCREPANCES OR CONSIDERS IN THE ARCHITECT. GRID LINES INDICATE CENTERLINE ON STRUCTURAL COXUMNS, VINLESS OTHERWISE NOTED AUGUST. WINDOWS ARE DIMENSIONED TO THE CENTERLINE OF OPENING UNLESS OTHERWISE NOTED.

WHERE NOT DIVENSIONED OTHERWISE, DOOR OPENINGS ARE FOUR INCHES FROM DOOR ROUGH OPENING TO FACE OF STUD AT THE ADJACING PERPENDICULAR WALL.

BISVATIONS REFER TO BUILDING DATUM, AS INDICATED. REDOR ELEVATIONS NOTED ARE TO TOP UF CONCRETE SLAB, OR FOP RIGID INSULATION, UNLESS OTHERADE NOTED.

THE CONTRACTOR SMALL COORDINATE ALL PLIAMENCE, GAS, ELECTRICAL, SPRINCER, AND HVAIC SYSTEMS FOR COMPATIBILITY WITH THE PROPOSED DESIGN PRIOR TO COMMENCEMENT OF CONSTRUCTION.

THE CONTRACTOR SHALL VERFY RELAND COORDINATION OF BESSING AND SPECIFIED EQUIPMENT PRIOR TO CONSTRUCTION AND VERFY COMPARISHITS WITH THE RECTRICAL VOLTAGE/PHASE, AND OTHER UTITIES OFFICIAL TO THE CONTROL OF STATE CONTROL OF THE CONTROL OF ALL MECHANICAL EQUIPMENT, DUCTS, GRUES, RUSS, AND YERRS WITH THEMECHANICAL CONTRACTOR AND ARCHITECT.

VERFY ADEQUATE CLEARANCES ARE PROVIDED FOR ALL EQUIPACHT, FLUE, VENTS, CHASES, FOITURES, BEFORE CONSTRUCTING, DROBBING, OR INSTALLING ANY NEWS OF WORK,

GENERAL CONTRACTOR AND SUB-CONTRACTORS SHALL COORDINATE THE LATOUT AND EXACT LOCATIONS OF POWER AND DATA, ELECTRICAL OURSES, LUCH SWITCHES AND THEMOSTATS WITH ARCHITECT IN THE RELD SEFORE PROCEDURG WITH HAR PERSON OF THE CONSTRUCTION.

IN THE EVENT OF CONFECT BETWEEN DATA OF INTORNATION IN THE SPECIFICATIONS, THE SPECIFICATIONS SHALL GOVERN. DETAIL DRAWNIGS SHALL TAKE PRECEDENCE OVER ORANINGS OF SMALLER SCALE.

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AND MECHANICA AND BETTER, STRIPLY, CORRECTIONS 5-44, VIPIET THAT NO CORPUSE BIBLIOG IN
COLOMINA OF AND ALL MECHANICAL BIBLIONG, BETTER, DICTURE, LIDERING, BIBLIONG AND SPRINGE,
ESTAMBLE, ALL ASSOCIATION PRING, DICT HOST, CONDIT AND BAT ALL REQUIRED CLARRANCES FOR
THATLAND AND AND ACCESSIBILITY OF ACCESSIBILITY OF ACCESSIBILITY OF ACCESSIBLE AND VERFY PARTITIONS LAYOUT IN PROJECT AREA REFORE FRAMING PARTITIONS, LAYOUT ALL PARTITIONS REFORE PROCEEDING. REVIEW THE TCHALKED PARTITIONS WITH ARCHITECT REFORE FRAMING.

ALL PARTITIONS ARE TO BE BRACED IN ACCORDANCE WITH CURRENT CODE REQUIREMENTS OF WHEN NOT SPECIFICALLY REFERENCES ACCORDANCE WITH BEST PRACTICES.

NEW WALL SUFFACES SHALL ALIGN WITH EXISTING, ADJACENT OR ADJOINING SURFACES, UNLESS OTHERWISE NOTED (U.O.N.) ALL JOINES SHALL BE TAPED AND SANDED SADDON WITH NO WEIGHT SONTS.

PROVIDE METAL TRIM OR CASING AT ALL EDGES OF PLATTER OR GYPSUM BOARD WHERE IT TERMINATES OR MEETS ANY OTHER MATERIAL EXCEPT ROOKS. THE CONTRACTOR SHALL UNDERCUT WOOD DOORS AS REQUIRED TO CLEAR RINGH FLOOR AND THRESHOLDS WITH

PROVIDE BACKING AND BLOCKING FOR ATTACHMENT OF WALL MOUNTED ELEMENTS AND FOR SEISING BRACING

STUDS SHALL BE AS INDICATED ON DRAWINGS, SPACING OF STUDS SHALL BE 16 BICHES ON CENTER FOR S/B GYPSIM-BOARD, U.O.N.

THE CONTRACTOR SHALL BE REPONDED FOR ADEQUARELY FRANCING, BRACING AND STRUCTURING ALL WALLS, BURE-BD. AND CHIER DRIVALL CONSTRUCTION OF THE ADEQUARE THROAT STRAIG CONTRACTOR OF THE ADECUARE THROAT STRAIG CONTRACTOR OF DECLARATED THE CONSTRUCTION DECLARATED AND STRAIGHT OF THE PLANT. APPLY FOLED FACED FRE PROTECTION PAPER CONTINUOUS OVER EXPOSED PURLINS AND BEAMS AT RETURN AIR COLLING PLENUMS PERMITTED BY CODE AND/OR LOCAL JURISDICTION.

STOCKPLE AND PROFECT NEW MATERIALS IN AREAS ON SITE APPROVED IN ADVANCE BY THE OWNER

V. WORGHANSHIP

CONTRACTOR AND/OR SUBCONTRACTOR SHALL VERFY ALL DIMENSIONS AND QUANTITIES IN THE RELD.

INSTALLALL PROMEL ECOMMENT AND MATERIALS PER MANUFACIONES SECIRICATIONS.

SCALANI. CAUDRIG: AND FLASHING SHOWN ON OBJANINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACIONES INSTALLATION SPECIFICATIONS AND STANDARD INQUISITY AND BINDING BEST PRACTICES. WHERE APPLICABLE, PATCH AND REPAIR ALL FIRE PROOFING DAMAGED OR REMOVED DURING IHIS PERFORMANCE OF THE WORK, FIRE PROOFING MEMBERATIONS REQUIRED BY THE WORK.

CONTRACTOR TO FOLLOW MANUFACTURERS SPECIFICATIONS AND INSTALLATION INSTRUCTIONS, IF THESE ARE CONTRACT TO THE CONTRACT DOCUMENTS IMMEDIATELY NOTIFY THE ARCHITECT.

WORK OF DEFICING CONSTRUCTION OR COUNTY IS NOT ACCEPTANCE. ARCHITECTS TAILURE TO DISCOVER OR TO POINT OUT DETICES OR DESICIONESS DUBBIG CONSTRUCTION WILL NOT PRESENT CONTRACTOR, FROM RESPONSIBILITY FOR ANALYMENT RE OUT OF THE WORK OF DESCRIPTS WORK FAMILE BEPRACED BY WORK CONFORMANG TO THE GUALITY AND DESIGN INTERFOR THE CONSTRUCTION DOCUMENTS.

CONTRACTOR SHALL COORDINATE WITH ALL TRADES INVOLVED, TO INSURE LOCATIONS AND CLEARANCES FOR RXINRE, DIGCIS, CRILING, SPRINKLER HEAD, GRILLES, ETC. NECESSARY TO MAINTAIN THE SPECIFIED TRISH CRILING HIGHLADDY HE RINGH FROM AS NOTED ON THE DRAWINGS, RESOLVE ANY CONFLICTS AND CONFIRM SAME WITH HE ARRIVED AS REPORTED HIGH.

ALL TENS OF WILLWORK SHALL BE CAREFULLY ERECTED WITH TIGHT FITTING JOINTS, CAREFULLY CITE AND SHOURED ALL FRAMBING SHALL BE INSTALLED CLOSELY BITED, ACCUPATELY SETIM PLACE TO THE REQUIRED LINES AND LEVELS. AND SHALL BE OF THE DIMENSIONS SHOWN ON DRAWINGS. DO NOT IMPARE STRUCTURAL MEMBER BY IMPROPER

PLINNING DRAIN, WASTER AND VENTS SHALL BE PVC.

ALL JAMBS AND SILS OF ALL WINDOWS AND DOORS SHALL BE CALLETD.

COORDINATE LOCATION AND PROVIDE SECCIONG, BACKING ANDICE PRINTORCEMENT IN PARTITIONS FOR ALL CARNES, COUNTRIENDS AND ANY WALL MOBILIFIEST, SEFER TO ELEVATIONS AND DETAILS FOR LOCATION OF THE PERSON AND ANY WALL MOBILIFIEST, SEPER TO ELEVATIONS AND DETAILS FOR LOCATION OF THE PERSON AND ANY ACCESSIORS SENDINGS SUPPORTS.

THE CONTRACTOR SHALL INSPECT ALL WORK PREMICISTY PREPARED OR INSTALLED BY OTHERS BEFORE #PPLYING SUBSEQUENT MILEBRAS OR PRIMERS. IF AN UNSASSEACTORY CONDITION IS FOUND, THE CONTRACTOR SHALL NOTIFY THE SUILCONTRACTOR, AND SHALL NOT PROCEED UNTIL THE DEFECTIVE WORK HAS BEEN CORRECTED. PROVIDE ISOLATION OF DISSIMILAR METALS BY COATING SURFACES IN CONTACT WITH BITUMINOUS PAINTS OR

ALLOWABLE TOLERANCES - UNLESS OTHERWISE NOTED OR INDICATED, THE POLLOWING TOLERANCES SHALL

1. ALL VERTICAL SURFACES SHALL BE PLUMB OR CONSTRUCTED TO THE EXACT SLOPES OR ANGLES INDICATED. 2. THE MARK MUM DEMANION FROM THE TRUE PLANE FOR MERICAL, AND HORIZONIAL SURFACES SHALL NOT BE GREATER THAN I (A" IN 10"-0" AS MEASURED BY A STRAIGHT EDGE PLACED ANYWHERE ON THE SURFACE MENNEY FROM THE SURFACE.

3. ALL HORIZONIAL SURFACES SHALL BE LEVEL OR CONSTRUCTED TO THE EXACT ANGLE INDICATED OR INTRODED.

4. WALL AND SOFFIT INTERSECTIONS SHALL BE 90° OR THE GRACT ANGLE INDICATED OR INTENDED

VARIANCE SHALL NOT BE ADDITIVE.

S. ME KONTS SKALL BE NOHT, STRAIGHT EVEN AND SMOOTH. 4. ALL OPERABLE ITEMS SHALL OPERATE SMOOTHLY WITHOUT STICKING OR BINGING AND WITHOUT FACESTIVE

FLAY OR LOOSENESS. WHERE CONTRACTOR AND/OR SUBCONTRACTOR IS INSTRUCTED TO AUGN A WALL WISH TWO OR MORE COLUMNS AND COLUMNS ARE DISCOVERED TO BE OF UNEQUAL SIDE. THE LARGER OF THE COLUMNS WILL DETERMINE DO/ADDIO FOR HAUL THIS WILL AGO APPLY TO WE COLUMNS AND CORE WAIRS.

8. NOT WITHSTANDING ANYTHING IN THE CONTRACT DOCUMENTS, THE CONTRACTOR ACCEPTS INS.
RESPONSIBILITY OF CONSTRUCTING A WARRENGEN, WEARREN BOTH PROJECT.

P. SITE MANAGEMENT TO, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINARING THE WORK OF ALL THE TRADES SUBCONTRACTORS, AND SUPPLIES

11.74E CONTRACTOR SHALL ASSUME SOLE RESPONSEURY FOR THE JOB STE CONDITIONS DURING THE COURS OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PRESONS AND PROPERTY. THIS REGULER/HOUSE SHALL APPLY CONTRIVIOUSLY AND IS NOT LIABED TO NORMAL WORKES HOUSE.

12THE ARCHITECT SHALL NOT HAVE CONTROL OF, OR RESPONSIBILITY FOR CONSTRUCTION MEANS & MEHIORS, TECHNIQUES, CONTRACTOR SUSCIONIBACION OR ANY PERSONS PERFORMING ANY OF THE WORK OR FOR FALURE OF ANY OF THEM TO CARRY DIT THE WORK IN CONFORMANCE WIRE THE CONFERMANCE WIRE THE

13.50°E MINI TO THE SITE BY REID REPRESENTATIVES OF THE ARCHITECT AND THEIR CONSULTANTS ARE SOLELY FOR THE PURPOSES OF DISSERVING THE PROGRESS AND QUALITY OF THE WORK AND DO NOT INC CONSTITUTE HISPECTIONS OF ANY WIND.

HAINE CONTRACTOR SHALL SE RESPONSIBLE FOR MAINTAINING A REASONABLY NEAT AND ORDERLY SITE DURNO CONSTRUCTION AND SHALL EAVIE THE SITE CLEEN, REMOVING A'LL EQUIPMENT, TEMPORARY SHEDKINGS FORCES, PACKING SATEMAL AND DEBINS.

ISJHE CONTRACTOR SHALL BE RESPONSIBLE FOR EVACUATION SAFETY IN ACCORDANCE APPLICABLE

16.IHS CONTRACTOR SHALL REMOVE ALL RUBBISH AND WATERIASS CAUSED BY THEIR WORK AND TRADES ON A REGULAR BASIS, AND SYALL EXPERSE STRICT CONTROL OVER 1.08 CLEANING TO PREVENT ANY DESIRS OF DUST BRIDM AFFORTING, IN ANY WAY, PINSHED A REAS NO GO OUTSO OF THE 4.29 SHIP.

12/FDVIDE SECURITY OF THE WORK, INCLUDING TOOLS AND UNMERLYED MARBEALS, PROTECT THE WORK, STORED PRODUCTS, CONSTRUCTION FOLIPHINT AND OWNERS PROPERTY ROOM HEFT AND VANDALISM AND THE PROPERTY ROOM THEY AND VANDALISM AND THE PROPERTY ROOM THEY AND VANDALISM.

18 MAINTAIN ACTIVE FIRE EXTINGUISHERS AT THE PROJECT THROUGHOUT ALL PHASES OF CONSTRUCTION 20. THE RINSH NOTED IN CONSTRUCTION DOCUMENTS INDICATES THE FYERS AND POTENT OF BUSHES. SPETJIE

INTERIOR RINSH SCHEDULE FOR INTERIOR MATERIALS 21. ALL PAINT RINSHES TO HAVE A MINIMUM OF DISE UNDERCOAT AND TWO OR MORE COLOR COATS TO ACHIEVE COMPLETE AND CONSISTENT COVERAGE.

ACTIVITY CONTINUE AND CORRECT COVERAGE.

2. ALL FIRMS SPECIAL OF MILITIANS TO BE REED, SEATED, AND SANDED SMOOTH, PANT PROPRISE AT MEA.

WORK TO BE SPECIATED CH FOR A SMOOTH SHART PREF OF FIRMAN, DEVICE AND ROCKS. SPECIES HALL

SHALL BE SET BE TRUE SPECIAL SHART, AND. ALL MEMORY SHALL BE ACTIVE FAIR OF MORTICISED

ACHINET COMPARISE. MODITA AND FACES SHALL BE CLEAR CUT AND TRUE PATIENT. SMAP COTHERS OF

ACHINET COMPARISE. MODITA AND FACES SHALL BE CLEAR CUT AND TRUE PATIENT. SMAP COTHERS OF

ACANAL COMMENS OF PARISH WOODWOOD, SHALL PANKERS SHART.

SHALL SHART OF PARISH WOODWOOD, SHALL PANKERS SHART.

BY SHALL SHART SH

ALL GYPSUM BOARD TO BE SMOOTH FINEHED

24. EXPOSED AND SEMEEXPOSED GIFSTUR BOARD TO BE FINSH WIRL LATEX, NO GYPSUM BOARD SURFACE EXPOSED TO VIEW SHALL BE LEFT UNIFINISHED OR UNPARTIED.

ALL INTERIOR AND EXPOSED TO VIEW SURFACES OF ALL PLASTIC LAMINATE MILWORK AND CABINETS TO BE RINSHED WITH LOW-PRESURE DECORATIVE LAMINATE, COLOR PER CONSTRUCTION DOCUMENTS.

26. SIICON SEALANT/GASKET AT GLAZING TO BE BLACK-VERBY TO MATCH EXISTING, U.O.N.

27. ALL EXPERIOR EXPOSED METAL SHALL BE GALVANCED AND PAINTED, U.O.N.

28. INTERIOR CONCRETE FLOORS SHALL BE TROWER ON SMOOTH AND PROJECTED DURING CONCERNATION. 29. THERMAL AND MOISTURE PROTECTION

30. DAMP PROOFING.

JAI. ONE CAST OF DAMPROORNE SHALL BE ALLIFED TO THE EXPOSED EXTEROR FACEOF CONCEPT.
FOUNDATION MALL TO THE TOP OF FOOTHORS.

32. MAINTERPROCRING FOR EXTERIOR FOUNDATION WALLS THAT RETAIN EARTH AND SYCLOSE HAMMAILE ON
FINANCIAL TRANSPORTED AND THE PROPERTY OF THE PROPERT OFFICE PACES LOCALID BELOW GROED SHALL BE WARREPROOFED WITH A VERY WARREVOLD CETABOLISE. OF THE TOP OF FOODING TO THE RIGHED BRADE THE SEMBRANGE SHALL CONST OF MAINIAIN AS AND THICK COMPOSITE LAWNORM OF A SHAFFL AND POT VIRENIANE. THE STORY OF THE REPERBANGE SHALL BE LAWDE AND SEASO WITH AN ADHERNE COMPARISE WITH THE WARREPROOPHING ANDREAMNE SHALL BE LAWDE AND SEASO WITH AN ADHERNE COMPARISE WITH THE WARREPROOPHING ANDREAMNE SHALL BE LAWDE.

33 PROVIDE ALL ACCESSORIES REQUIRED FOR COMPLETE INSTALLATION, AS REGISTED TO QUALIFIED FOR SPECIAL WARRANTES.

34 SEALANT FOR SUBSTRATE SURFACE.

35 PROTECTION BOARD 36 DRAINAGE PANEL: 9/8"THICK

37. E: EXIDB: E P: AS IOMS

38. COUNTER FLASHING

32 AIR RAPPIER 43. ALL EXPERIOR WALLS SHALL BE COVERED WITH AIR BARRIER WRAP.

41. ALL WALLS, AND CEILING SERVIEN CONDITIONED AND UNCONDITION SPACES SUCH AS WALLS RETWEEN HEARED SPACES AND GARAGE, UTILITY SICRAGE SHALL BE COVERED WITH AIR BARRIER WRAP.

42 ENSURE WEATHER WRAP IS INSTALLED WITHOUT GAPS OR YOLDS.

43. THS PRODUCT IS SPUN POLYCLESN, MON-PERFORATED, HONWOVEN, NON-ABSORBING BREATHASIE MEMBRANE THAT REUST AIR FLOW, BULK WATER AND WIND DRIVEN RAIM AND CRINNES WATER AND MEMBRANE INVIT RESID OF TOO. BUT WARE MOT MOT DIFFER RINK AND CRIMICS WASTE. AND MICRORIENT TO RESID OF THE BUT WAS A COCEPHANT PRODUCT FYCE COMMENDIAL WARE BY DUPON'S GREEN GUIND WARE BY PACTUT BULDING. FLASHINGS SEE AND RINK OF BUTSE MARRIAND FLASHING MATERIAL FOR WINDOWS OPPONIS AND PRINTED/ON ACCEPHANE FROUCHTS. STRAIGHTRACH AND REWINDARY STRAIGHT STRAIGHT STRAIGHT STRAIGHT AND PRODUCTS. BUTSENIN THE STRAIGHT AND AND REWINDARY STRAIGHT STRAIGHT

44. SSAM TAPE, FASTBURS, SEALANT, ADHESIVES: AS RECOMMENDED OR PROVIDED BY AIRE BASRIESE

45. AIR BARRIER AT STUCCO FINGH WILL COMPLY WITH STUCCO MANUFACTURERS REQUIREMENTS

46, VAPOR BARRIER:

47. ALE CRIUNG BETWEEN CONDITIONED AND UNCONSTITION SPACES SUCH AS HEATED SPACES AND UNHEATED ATTIC. SHALL III. COVERED WITH 6 MIL. VAPOR PARRIER

48. PROVIDE ID WIL VAPOR BARRIER BELOW SLAB ON GRADE.



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CCC Design

DESCRIPTION DESIGN PERMIT SET REVIEW 오 < _

ARCHITECTURAL - NOTES SHET

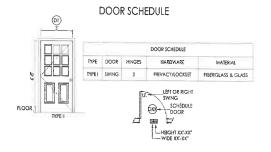
832 RE HILL F MD 210 1036 BALTIMORE H CROWNSVILLE ME PROJECT DESCRIPTION:

DATE: 30/06/2025

SCALE: N/S

SHEET A001





WINDOW SCHEDULE



MINDOWS.
SAFETY GLAZING TO BE USED IN WINDOWS IN ACCORDANCE WITH IRC 2021 ISCENON 208.
ALL WINDOWS TO BE RATED IN ACCORDANCE WITH INFRC.
EGRESS WINDOWS PER SECTION 1029 OF THE 2021 BUILDING CODE

WALL SCHEDULE











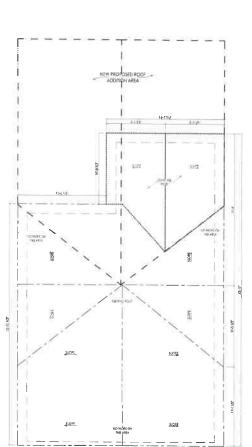
DE3/GN PERMIT SET 02/21/2025 REVIEW 07/07/2025	4.	NO. DESCRIPTION	87	DATE
	DENC	SN PERAUT SET		02/21/2025
	REVIE	W	-	07/07/2025

SHEET TITLE:
ARCHITECTURAL
DETAILS / SCHEDULE NOTES

PROJECT DESCRIPTION: 1036 BALTIMORE HILL RD CROWNSVILLE MD 21032

DATE: 30/06/2025 SCALE: N/S SHEET:

A002



ARCHITECTURAL - EXISTING CONDITION
SCALE: 1/4' - 2'-0' **ROOF PLAN**



			3	i
STAMPOL POSTOES	Viran	1000	Jesign & Constructions, LLC	Same Children on Thomas
DATE.	02/21/2025	07/07/2025	*** ***	
, 8Y			_	
	PÉRMIT SET			l

GENERAL DEMOLITION NOTE

PROVIDE TEMPORARY SUPPORT & SHORING AS REQUIRED BEFORE NEW

WORK IS IN PLACE.

RECYCLE MATERIALS PER GOOD WASTE MANAGEMENT PRACTICES,
PROVIDE DUST ENCLOSURE AND LIMIT INTRUSIONS OUTSIDE OF THE

DEMOUSH FINISH CBILINGS, WALLS, ETC. AS REQUIRED FOR UTILITY CONNECTIONS, WIRING, STRUCTURAL MEMBERS, ETC. PER CONTRACTORS NECESSITY IN AREAS OF HOME NOT TO BE RENOVATED. PATCH TO MATCH EXISTING AS REQUIRED.

PROTECT FINISHES TO REMAIN FROM DAMAGE, REPAIR EXPEDIENTLY TO

ANAIGH DESTROY FOR AMERICAN DAMAGE, REPAIR EXPEDIENTLY TO MAIGH DESTROY FOR CLARITY. CONTRACTOR TO REFER TO ENTIRE DRAWING SET TO DETERMINE OTHER AREAS OF DEMOUTION.

NOTE

CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS, SCHEDULE PRIOR TO COMMENCING WITH THE WORK.

If IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF

PLANS, "CONSTRUCTION SET", ARE BEING USED.

ALL DIMENSIONS NOTED ± ARE TO BE ADJUSTED AS REQUIRED PER RELD

CONDITION.

NEW WALL DIMENSIONS GIVEN FINISH TO FINISH, UNLESS NOTED OTHERWISE.

NEW WALL DIMENSIONS GIVEN FINISH TO RINSH, UNLESS NOTED OTHERWISE, ALL WALL INSILES, THEW ALCHOE DESTINE WALLES TO MACHE DESTINE, PATCH & REPARK ALL BINSHES, SUBSTRAIES, EFC. IN ALL AREAS, AFFECTED BY THE WORK & DEWENS SPECIAL WORK LOCALIDON. ALL NEW WALLS TO HAVE 1/7" GPF BOAND FOR PAINT EXCEPT TILL & WEI LOCALIDONS WHOCH ARE TO HAVE CEMENTIMOUS BACKER BOAND. TO INSTALL STRUCTURES, LOCKIDENCIOR STOTE SHOOTE CONFIETE ALL WORK. TEMPORARILY REMOVE INFRASTRUCTURE SUCH AS LIGHTING, DUCT WORK, ETC. AS NECESSARY TO PERFORM WORK.

LEGEND

<u>0,000</u> ca	EX. MASONRY WALLS
	EX. STUD WALLS
100000000000000000000000000000000000000	NEW STUD WALLS
	PROJECTION FOUNDATIONS, ROOF, STAIRS
	DEMO/REMOVE/REPLACE
	ELECTRICAL PANEL
(Â)	EX. WINDOW TO REMAIN
(B)	EX. DOOR TO REMAIN

1036 BALTIMORE HILL RD CROWNSVILLE MD 21032

ARCHITECTURAL EXISTING CONDITION

DATE: 30/06/2025 SCALE:

1-0" SHEET:

A003

PENOVE ALL DWGS DECK 7-6" X 7-10" NO WORE DIS-BEDROOM 11-3" X 15-5" DINING 15-2" K 9-5

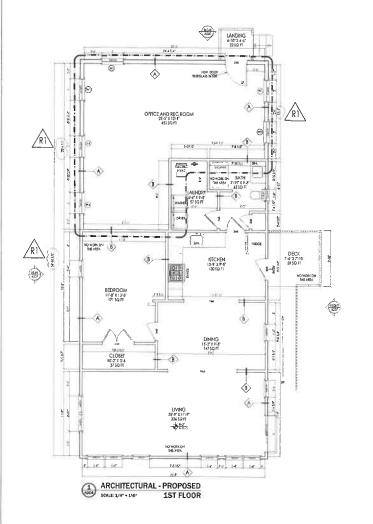
ARCHITECTURAL - EXISTING CONDITION

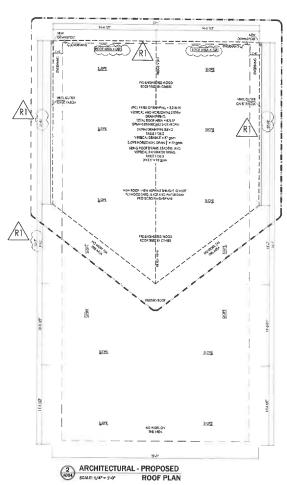
SCALE 1/4" = 1/0" 1ST FLOOR

NEW PROPOSED ADDITION AREA

Le SEL SE SE S

1ST FLOOR





INTERIOR AREA

EXIST	ING	NEW A	DDITION
ROOM NAME	NTERIOR AREA	ROOM NAME	INTERIOR AREA
BATH	62 SQ FT	OFRCE AND	452 SQ FI
LAUNDRY	57 SQ FT	REC ROOM	432 3GIFI
CLOSET	5 SQ FT	TOTAL	452 SQ FT
KITCHEN	130 SQ FT		
BEDROOM	171 SQ FT		
CLOSET	37 SQ FT		Δ)
DINING	147 SQ FT	/	KI/
UVING	306 SQ FT	-	
TOTAL:	915 SQ FT		



EXTERIOR AREA

LOT	2.5 Acre	
AREA	SQ FT	
EXISTING PROPERTY	1002	1
50% ALLOWED	501	
NEW ADDITION	486	ZKI
% USED	49%	

SOMOED III	lican	1000	vengn of committeenons, 1.10	COSC (M'Chate) (2 Sumb 340 every
DRAWINGS INCOMDEDITY	<u> </u>	=	wender of Con	man All Name
BY DATE.	02/21/2025	07/07/2025		
ВУ		Ц	Į	ļ
NO. DESCRIPTION	DESIGN PERMIT SET	REVIEW		
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NOTE

CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS, SCHEDULE

PRIOR TO COMMENCING WITH THE WORK.

IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE
CORRECT SET OF PLANS, "CONSTRUCTION SET", ARE BEING USED. ALL DIMENSIONS NOTED ± ARE TO BE ADJUSTED AS REQUIRED PER FIELD CONDITION.

NEW WALL DIMENSIONS GIVEN FINISH TO FINISH, UNLESS NOTED OTHERWISE.

ALL WALL INFILLS (NEW) ALONG EXISTING WALLS TO MATCH

ALL WALL INFILES (NEW) ALLONG EASING WALLS TO MAILTH STRING.
PAICH & REPAIR ALL RINSHES, SUBSTRATES, ETC. IN ALL AREAS AFFECTED BY THE WORK & BETWEEN SPECIFIC WORK LOCATIONS, ALL NEW WALLS TO HAVE 1/2" GYP BOARD FOR PAINT EXCEPTILE & WET LOCATIONS WHICH ARE TO HAVE CEMENTIFICUS RECYCLED ASSAULT.

BACKER BOARD.

10 INSTALL STRUCTURAL. CONTRACTOR IS TO REMOVE FLOOR AND/OR CEILING ASSEMBLIES AS REQUIRED TO MAKE AND/OR

COMPLETE ALL WORK.
TEMPORARILY REMOVE INFRASTRUCTURE SUCH AS LIGHTING, DUCT WORK, ETC. AS NECESSARY TO PERFORM WORK.

LEGEND

2200 of 2777	EX. MASONRY WALLS
	EX. STUD WALLS
200000000000000000000000000000000000000	NEW STUD WALLS
	PROJECTION FOUNDATIONS, ROOF, STAIRS
	DEMO/REMOVE/REPLACE
	ELECTRICAL PANEL
©	SMOKE DETECTOR HARDWIRED WITH BATTERY BACKUP
@	CARBON MONOXIDE HARDWIRED WITH BATTERY BACKUP
(A)	EX. WINDOW TO REMAIN
(B)	EX. DOOR TO REMAIN

1036 BALTIMORE HILL RD CROWNSVILLE MD 21032 PROJECT DESCRIPTION:

ARCHITECTURAL PROPOSED

SHEET TITLE:

DATE: 30/06/2025 SCALE: 1/2=1:-0" SHEET:

A004



Processional Certification. I hareby certified in the comments were prepared of approved by me, and that I am a dut floomed professional engineer under the lates of the State of Maryland, Limpe Mo. 16 200 Englishment Chief.

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BY DAIE. CHANNINGS REQUISITED BY:

O2721/2025

O757/2025

O757/202

ARCHITECTURAL ELEVATION PLAN

SHEET TITLE:

DJECT DESCRIPTION:
1036 BALTIMORE HILL RD
CROWNSVILLE MD 21032

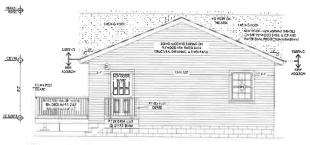
DATE:

30/06/2025

SCALE:

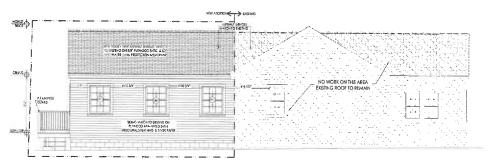
⅓"=i"-o" SHEET:

A005

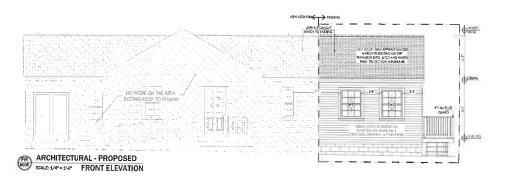


ARCHITECTURAL - PROPOSED

BOALE: 1/4" - 120' RIGHT ELEVATION



RE ARCHITECTURAL - PROPOSED SCALE: 1/4" = 1'-0" REAR ELEVATION



NOTE

CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES. ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS, SCHEDULE PRIOR TO COMMENCING WITH THE WORK.

IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, "CONSTRUCTION SET", ARE BEING USED. ALL DIMENSIONS NOTED ± ARE TO BE ADJUSTED AS REQUIRED FOR HELD CONDITION.

NEW WALL DIMENSIONS GIVEN FINISH TO FINISH, UNLESS NOTED OTHERWISE.

ALL WALL INFILLS [NEW] ALONG EXISTING WALLS TO MATCH EXISTING.

EADINO.

PATCH & REPAIR ALL FINISHES, SUBSTRATES, ETC. IN ALL AREAS AFFECTED BY THE WORK & BETWEEN SPECIFIC WORK LOCATIONS. ALL NEW WALLS TO HAVE 1/2" GYP BOARD FOR PAINT EXCEPT TILL & WET LOCATIONS WHICH ARE TO HAVE CEMENTITIOUS BACKER BOARD.

TO INSTALL STRUCTURAL, CONTRACTOR IS TO REMOVE FLOOR AND/OR CHUNG ASSEMBLIES AS REQUIRED TO MAKE AND/OR COMPLETE ALL WORK.

TEMPORARILY REMOVE INFRASTRUCTURE SUCH AS LIGHTING, DUCT WORK, ETC. AS NECESSARY TO PERFORM WORK.

STRUCTURAL NOTES

- ALL JOISTS, BEAMS AND POSTS SHALL BE SPRUCE PINE-FIR NO, I/NO.2 PER "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, NPP., ALL SHUDS SHALL BE SPRUCE PINE-FIR STUD-GRADE, ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH P220 OF "AMERICAN SOFTWOOD LUMBER STANDARDS" AND SHALL HAVE 19% MAXIMUM MOISTURE CONTENT
- MINIMUM MEMBER PROPERTIES SHALL BE AS FOLLOWS
- WOOD LINIELS, JOISTS AND BEAMS FLEXURE: Fb = 875 PSI SHEAR: Fv = 135 PSI
- MODULUS OF ELASTICITY = 1,400,000
- WALL STUDS: STUD GRADE
- FLEXURE: Fb = 675 PSI COMPRESSION PARALLEL: Fc = 725 PSI MODULUS OF ELASTICITY = 1,200,000
- C. MOULIUS OF EASILITY E 120,000
 C. ALI FRANKO E DOTORE TO WALFIELD OF DESIGNATED TH." IS TO BE PRESSURE IRRATED SOUTHER FINE NO.2. PER NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION NETA. ALL WOOD MEMBERS SHALL BE AMANGACIANED TO COMPAT WITH PASO OF TAMERON NOTIFICATION LIGHEST STANDARDS." IMMEMBERS SHALL BE AMANGACIANED TO COMPATE THE PASS OF THE TAMBONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION. COORDINATE WITH HARE SE IN THE TAMBONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION. IT OF CO. (19.10.4) PAGE DOUBLE STUDY AT END OF WALLS AND TRIFLE STUDY AT INTERESCENCES AND CORNERS. ALL MULTIPLE STUD FOST SHALL BY ASSISTED AS FOLLOWS.
- COLLOWS:
 DOUBLE STUDS SHALL BE NAILED TOGETHER WITH 10d AT 6" O.C.
 TRIPLE STUDS SHALL BE NAILED TOGETHER WITH 16d AT 6" O.C.
 FOR F44 STUD POSTS, USE 200 NAILS AT 6-INCHES ON CENTER.
- PROVIDE SIMPSON STRONG-TIE (OR APPROVED EQUAL) POST CAPS AT ALL BEAM-ON-POST BEARING LOCATIONS, U.N.O.

- LOCATIONS, LINCO,

 ROOF SHEATING SHALL BE SHEARCH, CDX, APA STRUCTURAL I RATED SHEATING, EXPORTE I, FER THE

 "AMBRICAN PERWOOD ASSOCIATION SHEATINGS SHALL BE FASTERED WITH BO MAIN AT AINCHES ON

 CHENER AI SOLDMANT PANEL EDGS FAND AT I I I I ANCHES ON CONTRET AT ALL INTERMEDIATE SHPPORTS.

 WALL SHEATINGS SHALL BE 1/2-NICH, CDX, APA STRUCTURAL I RATES SHEATINGS, EXPOSITE I, PER THE

 AMBRICAN PERMODO ASSOCIATION, SHEATINGS THALL BE FASTERED WITH AS HALL AT HACHES ON

 CENTER AT PANEL EDGES AND AT I SANCHES ON CONTRE AN ALL INTERMEDIATE SHPORTS.

 ALL I NAMODO SHEATINGS ON SHEATINGS HALL OF AN ARADIS STATE ADVANCED SHEATINGS.

 CENTER AT SOLIDARE I AND ASSOCIATION OF A SHEATING WITH ADVANCED SHEATINGS.

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- FLEXURE: Fb = 2.800 PSI
- SHEAR: Fy = 285 PSI
- MODULUS OF EIASTICITY = 1,900,000

 PARALLEL STRAND LUMBER (P.S.L.) SHALL BEINSTALLED AND FASTENED PER THE MANUFACTURER'S RECOMMENDATIONS, MINIMUM MEMBER PROPERTIES SHALL BE AS FOLLOWS FOR P.S.L. POSTS
- FLEXURE: Fb = 2,400 PSI
- COMPRESSION: Fe = 2,500 PSI
- MODULUS OF FLATIGUY = 1 800 000
- PROVIDE WIR 3 BEARING FOR ALL LAWINATED VENEER AND PARALLEL STRAND BEAMS, 2" BEARING FOR STANDARD LIMBER BEAMS.

 ALL WOOD TOP LIATE SPLICES SHALL BE STAGGERED & 6"-0" MINIMUM.

- ALL WALL SHOPPING SHALLE SCHOLDED SHALL BESTAGGERED BY 8 -3" IMMUNICATION SHALLE SHALL BESTAGGERED BY 8 -3" IMMUNICATION SHALLE BOOST SHALLE ECONTRICIOUS SERVER IN DP PLATES AND BOTTOM PLATE OF WALL ABOVE. ALL RAYWOOD PANELS EDGGS SHALLE ECONTRICIOUSLY SLOCKED AND NALED.

 ALL HAMITTED AMERICA SHALLE SHALLE STATEMENT OF SHALLE SHALLE SHALL S

PILES	DEPTH	FASTENERS	SPACING	ROWS
(2)1-1/2	9"-12"	10d NAILS	12° O.C.	2
(2)1-1/2	14"-18"	10d NAILS	12° O.C.	3
(3)1-1/2	9"-12"	16d NAILS	16" O.C.	2"
(3)1-1/2	14'-18"	16d NAILS	16" O.C.	3"
(2)1-3/4"	9"-12"	12d NAILS	12" O.C.	2
(2) 1-3/4	14'-20"	12d NAILS	12° O.C.	3
(3)1-3/4	9"-12"	SDS 1X41	12° O.C.	2"
(3)1-3/4"	14'-20'	ene levale		3"

"ALL TRIPLE AND -PLY MEMBERS SHALL BE FASTENED FROM BOTH SIDES WITH THE NUMBER OF ROWS AND FASTENERS SPECIFIED. SIDE-TO-SIDE SPACING SHALL ALSO BE STAGGERED.

- PROVIDE SOLID BLOCKING BETWEEN JOISTS AND RAFTERS AT ALL BEARING POINTS,
- PROVIDE 16 GAGE JOIST HANGERS OR ANGLE CLIPS TO ALL JOIST CONNECTIONS WHERE THERE IS NO DIRECT BEARING
- SUPPORI.

 REVONDE BRIDGING AT CENTER IPAN OF JOSÉS OR INTERVALS NOT EXCEEDING 8 FEET.

 ALL MISCELLANGOUS WOOD CONNECTIONS SHALL BE FASTENED FER 2021 BIC, TABLE 2004 8.1 "FASTENING SCHEDALLE".

 ALL MISCELLANGOUS WOOD CONNECTIONS SHALL BE FASTENED FER 2021 BIC, TABLE 2004 8.1 "FASTENING SCHEDALLE".

 ALL BRIDGING TO THE DERAWINGS, SENIELS, AND NOTES SHALL BE DISPIRED AS FOLICIONS; 8d = 0.1311/2.5", 10d = 0.14873.1", 10d = 0.14873.5", SUBSTITUTIONS FOR FIESE NAIL DRES SHALL BE SUBMITTED IN WIRTINGS TO THE ENGINEER FOR
- DOUBLE JOISTS SHALL BE LOCATED BENEATH ALL PARTITIONS WHEN THE LENGTH OF THE PARTITION EXCEEDS ON HALF
- HIRE YEAR.

 PROVIDE SIMPSON H2.5A HURRICANE CUPS FASTENED TO THE OUTSIDE FACE OF THE DOUBLE TOP PLATE AT ALL BAFFER
 SPANKS POINTS.

 BEANKS POINTS.

 ALL ROOF SHEATENING SHALL BE LAD COMMINIOUSLY BETWEEN THE EDGES OF THE ROOD, NO INTERRUPTIONS ARE
 ALL ROOF SHEATENING SHALL BE LAD COMMINIOUSLY BETWEEN THE EDGES OF THE ROOD, NO INTERRUPTIONS ARE
- PERMITTED AT CAP TRUSSES OR AT ROOF OVERBUILDS.

- ALL WORK AND MATERIALS TO COMPLY WITH THE REQUIREMENTS OF THE 2021 IRC CODES WITH CURRENT COUNTY
- COURT OF POORINGS, UNDERPRINING AND SLAB ON GRADES ARE DESIGNED TO BEAR ON NATIVESCAL TYPE SM. OR SC WITH AN ALLOWABLE BEARING PRESSURE OF 1909 PSF. A QUALIFIED SOIL-BEARING INSPECTOR PRIOR TO PLACEMENT OF CONCRETE SHALL VERIFY ALL BEARING VALUES. STRUCTURAL STEEL:

- SAUCUIDAL SEEDS THE INCLIDING DETAIL MATERIAL SHALL CONFORM TO ASTM ASSZ FF = SOKEL LIMO.

 ALL STRUCTURAL TURNING SHALL CONFORM TO ASTM ASSO, GRD.8

 ALL STRUCTURAL TURNING SHALL CONFORM TO ASTM ASSO, GRD.8

 ALL STRUCTURAL TURNING SHALL CONFORM TO ASTM ASSO, GRD.8

 ALL SEEDS SHALL S CORROSION-INHIBITING PRIMER
- DETAILING, FABRICATION AND ERECTION SHALL BE IN ACCORDANCE WITH AISC, ADEQUATELY BRACE ALL SIZEL AGAINST LATERAL LOADS DURING SECTION. ALL EDIBLORS ASTROCHMENTS AND SECTION. ALL EDIBLORS ASTROCHMENTS AND SHALL BECEPOR PLAST PREVENTATIVE PAINT.
- TO CONNECTIONS:

 L. ALL BEAM CONNECTIONS SHALL BE SUMPLE SHEAR CONNECTIONS, UNIC O'MHERE NO REACTION IS PROVIDED. THE BEAM SHALL BE ASSUMED TO CARRY LOW OF THE ALLOWASEL UNFORM LOAD IN KEPT FOR BEAMS LATERALLY SUPPORTED, AS GIVEN IN PER ALL STEEL CONSTRUCTION, MANUAL BIOLEPT AS NOTED, ALL BESTINESS SHALL BE SAY DANGER AS THA A32'S BOLTS, DESIGNED TO ACT IN BEARING LYPE CONNECTIONS WITH THEFADS INCLIDED.

 ALL DEFENDING THE CONNECTIONS WITH THEFADS INCLIDED.
- ALL PREFABRICATED ANGLES, BEARING PLATES, AND JOIST HANGERS SHALL BE INSTALLED PER THE MANUFACTURER
- RECOMMENDATIONS
- FOLLOW THE MANUFACTURER RECOMMENDATIONS FOR SETTING EPOXY BOLTS. EXPANSION BOLTS SHALL BE RAWL POWER STUDS.
- MASONRY:
 MASONRY CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE APPLICABLE SECTIONS OF ACI
- 530-11/ASCES-11. SPECIFICATIONS FOR MASONRY STRUCTURES.

 CONCRETE MASONRY UNITS SHALL BE HOULOW LOAD BEARING UNITS (ASTM C90) GRADE N-1 WITH A NEI STRENGTH OF GOODSTS AND F. M. ISODSS.
- STRENGT OF SQUARS AND FAT 1500PS).
 ALL JOINTS OF ELEIDS SOLD WITH JOINTAR.
 MORKET TO COMPLY WITH ASTAC CZYD (TYPE M. 02 S).
 PROVIDE CORRUGATED MASONRY TES BETWEEN BRICK FACIA AND WOOD WALLS OR EMU WALLS AT 16' O.C. IN
 EACH DRECIONAL.
- PROVIDE 9GA TRUSS STYLE JOINT REINFORCEMENT @ 16" O.C. VERTICALLY.
- G. UNTELS SHALL BE AS FOLLOW
 - OPENING 53'-0"-L4X3 \X LLV/4" OF WALL
- OF STAND S. 2. "CASE STATE LAST STATE STATE LAST STATE
- CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS OF 3000PSI, UND (UNLESS NOTED OTHERWISEI.
- ALL CONCRETE SHALL BE PLACED WITH A SLUMP OF 4" (12)
- C. ALL CONCRETE SHALL BY FAILED WITH A 3,00M OF 4 (59)

 ALL CONCRETE SHALL BENORAL WEIGHT, IND.

 ALL CONCRETE SHALL BENORAL WEIGHT, IND.

 CONTRACTORS SHALL POINT EARLY CONCRETE TO ACCOUNT FOR THE DETECTION OF THE FORM WORK TO PROVIDE A FLAT HOWERS SUPPLACE.

 COMMISTRE OVER FOR REIN ORCEVENT SHALL BE:
- COLUMNS AND BEAMS SLABS FOOTINGS
- RENEORCEMENT
- RBINFORGING BARS SHALL BE DEFORMED BARS CONFORMING TO ASTM ABIS, GRADE 60 (FY= 60KS)]
 WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A18S, LAP EDGES OF WIRE FABRIC AT LEAST 6" IN EACH
- WEIDED VIME FABRIC (WIME) SHALL CONFORM TO ASTM AIRS, LAP EDGES OF WIRE FABRIC AT LEAST 6" IN FACH URRECTION.

 DIMENSIONS: THE CONTRACTOR SHALL REID VERRY ALL DIMENSIONS PRIOR TO FABRICATION OF STRUCTURAL COMPONENTS.
- COMPONENTS.

 COORDINATION: THE CONTRACTOR SHALL COORDINATE ALL SLEEVES, DUCT OPPININGS AND HALES BETWEEN
 TRADES, ANY CONDUISTOR PRIES EMBEDDED IN CONCRETE MUST BE IN ACCORDIANCE WITH ACISTS 11. CHAPTER 6.
 WHERE SLEEVES ARE CLOSELY SPACED IN A GROUP, THE GROUP SHALL BE TREATED AS AN OPPINING AND
 RENFORCED ACCORDINGLY.

SUBMIT DRAWINGS SHOWING ALL OPENING SIZES AND LOCATIONS FOR THE APPROVAL BY THE STRUCTURAL

THE BUILDING SHALL ALSO CONFORM TO SHE KOLLOWING PRESCRIPTIVE REQUIREMENTS. THE BUILDING SCHOOLS TO THE HELICIPTIVE REQUIREMED DEVILLOR IN EXCHANGE BOWN PER ELICIPTIVE BUILDING DEVILLOR IN THE CHARGE BOWN PER ELICIPTIVE BUILDING DEVILLOR IN CHARGE BOWN PER ELICIPTIVE BUILDING DEVILLOR IN CHARGE BOWN PER ELICIPTIVE BUILDING DEVILLOR IN CHARGE BUILDING BUILDING

COMPONING	MGURES VALUE
COLLING/ROOF	R-49 [COMPRESSED OVER WALL TOP PLATE AT SAVES] OF R-38 [UNCOVPRESSED OVER WALL TOP FLATE AT SAVES]
MALS:	R-20 CAMPY OR 6-13 CAMPY PLUS R-5 CONTINUOUS
PASEMENT WALLS	B (0 CONTINUOUS CERVIS CAMITY
SLAB	R-10, T DEFIN
TAME SPACE WALLS	R-10 CONTINUOUS OR F-13 CAMTY
HILLS GIVE UNGONDRIONED SPACE	0.10
TO OVISIDE CONDITIONED SPACE	REFORSUPPLY DUCTION ATTES REFORALL ORIER CLICKS
HIT WAT HE PRES	RESURESS OFFERMS ALLOY CORPLECT PAINS SECTION TO BE SECTIO
'ENESTRATION	U-FACTOR = 0.33 MAX: SNGC = 0.40 MAX
KYUKGHTS	U-FACTOR - C33 MAX: \$HGC = 040 MAX

IGULATION NOTES: . ALL BUILDING: ENVELOPE INSULATION IS LABELED WITH R-VALUE OF INSULATION ERTIFICATE.

- CERTIFICATE.
 2. ALL POBLIADON INSTALLED FER MANUFACTUREPS REQUEBUSENTS.
 3. SLOWN OR FOURED LOGGE RIL INDUIATION INSTALLED ONST WHERE ROOF
 3. SLOWN OR FOURED LOGGE RIL INDUIATION INSTALLED ONST WHY SOFT,
 4. COMPLETE WHILE INVALUE REQUIREMENTS WHIL CURRENT ENERGY
 CONSERVATION COOPE.
- ATTIC HATCH TO BE AIR SEALED & INSULATED TO A MINIMUM OF R-49.
 PROVIDE BAFFLE OVER AIR PERMEABLE INSULATION ADJACENT TO SOFTIT AND

STRUCTURAL CALCULATIONS February 26, 2025 1036 Baltimore Hill, Crownsville, MD 21032 Design addition framing Roof framing Window headers Span = 3,33' Prnex = 2872 x 2' x 50 psf = 1400 lbs W = 30 ntt M max = 1,21 k-ft = 14,5 in-k - use 2 - 2x8 min Vmax = 1400(2,72' + 0,72')/3,33' + 30plf[3,33'/2 - 7,25"/12) = 1484 lbs Vcap = (2/3)(3")(7.25")(135psi) = 1957 lbs - ok

1St Floor W beam Span = 11.83° W = 25/2 x 50psf + 20 = 645 plf M = 11.29 k-ft

Use W8x13 Mcap = 28,4 k-fi

R = 3816 lbs

that these documents were prepared of approved by me, and that I am a duly iconsed professional angineer under the iconsed professional anginear under laws of the State of Maryland, Lime

DESIGN PERMIT SET 02/21/2025 REVIEW 07/07/2025 Basiqu
07/07/2025 Design & Constructions.
Design

277

NOTES

BALTIMORE HILL RD WNSVILLE MD 21032 PROJECT DESCRIPTION: 1036 CROV

DATE 30/06/2025 SCALE:

N/5

SHEET

S001

IRC 2021 DESIGN CRITERIA Floor Live Load

Dead Loads 10 spf Ground Snow Load 30 spf

Wind Speed Exposure 115 mph Seismic Design Category B

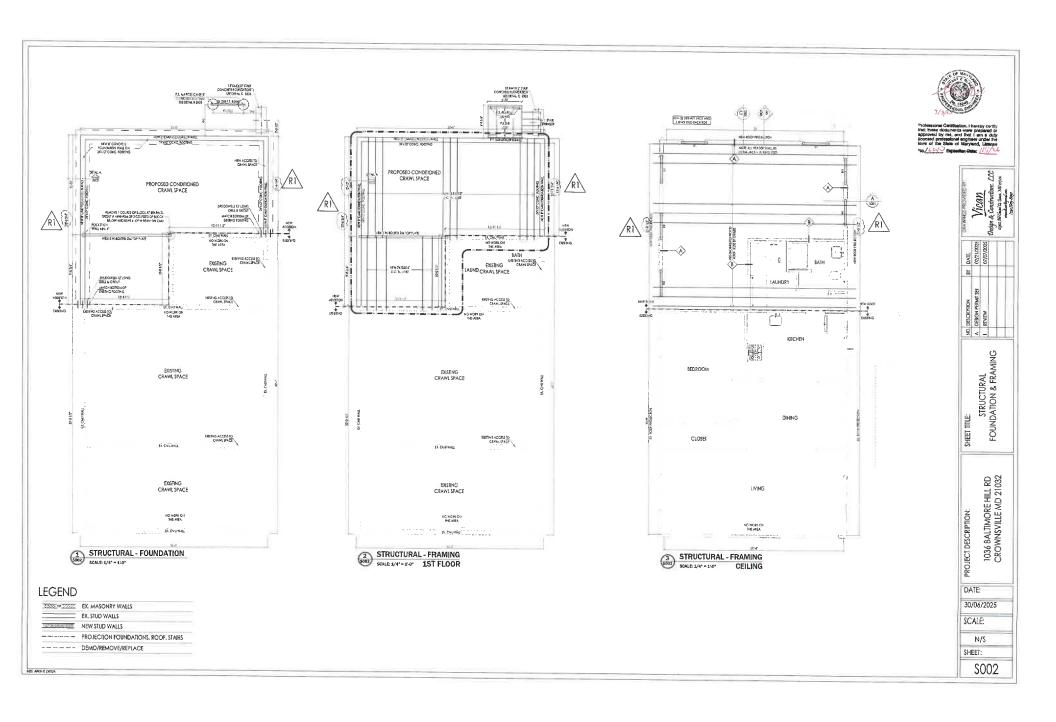
Weathering Frost Line Depth 30"

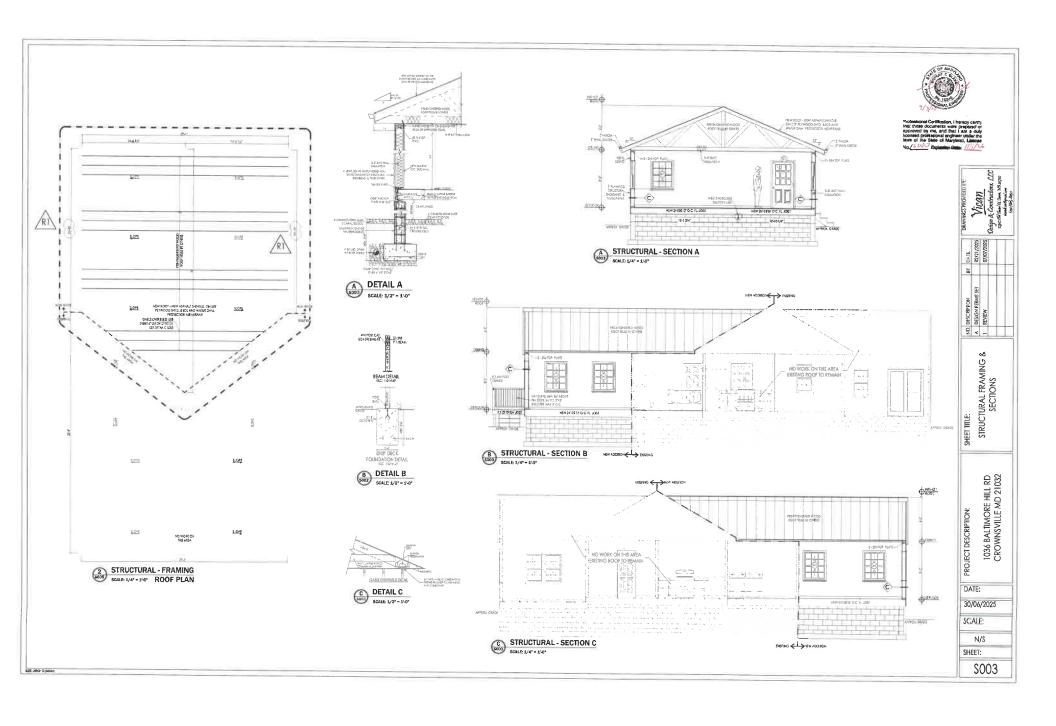
Termite Areo Moderate to Heavy Decay Area Slight to Moderate Winter Design Temperature 13 F

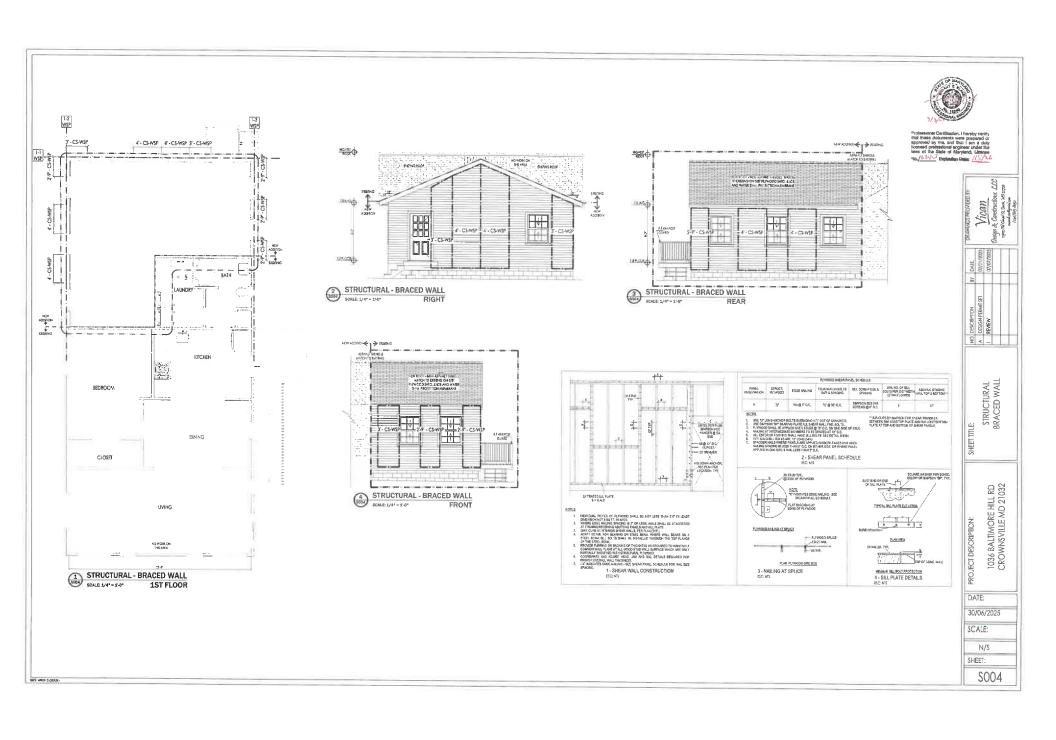
Ice Shield Underlayment Yes, Required

July 18, 1975 / September 29, 2006

Air Freezing Index 300 Mean Annual Temperature 55 F







Anne Arundel County Zoning Viewer

