

Lisa Perez
1036 Baltimore Hill Rd
Crownsville MD, 21032
(443) 924-4345
Lmperez2412@gmail.com

To whom it may concern;

The following letter of explanation is a formal request for a variance to complete an addition on the current property of 1036 Baltimore Hill Rd, Crownsville MD 21032. The property is currently zoned as Residential Low Density.

The current Setback requirements for Residential Low-Density area is Front 50 feet, Rear 40 feet and Corner Side 40 feet. However, due to the unique characteristics of the property, a strict adherence to this requirement creates an unnecessary hardship. 1036 Baltimore Hill Rd is a triangular shaped property totaling 1.1800 acres where the current one floor 14'4 height home/structure sits closest to the corner of Baltimore Hill Rd and Generals Hwy. Generals Hwy is considered the front of the property and Baltimore Hill Rd is considered the side/back of the property. The property is slightly sloped around the edges of the property but the steepest slop to be disturbed for this addition will be 1%. The original structure on this property was built in 1940 prior to the standard setback requirements.

It is also important to note that according to the current deed and survey for 1036 Baltimore Hill Rd, the property also includes 1035 Generals Hwy making a combined total of 2.5 acres. The State's acquisition of land for the creation of MD 178/Generals Hwy split the property creating undue hardship to comply with the current setback requirements to complete the requested extension.

Because of the current placement of the home and the State's acquisition of land close to the original structure at 1036 Baltimore Hill Rd, there is no reasonable possibility of developing the lot, specifically adding an addition of any square footage connected to the home horizontally or vertically that would meet the current setback codes.

The proposed addition, as detailed in the attached site plan, is to add an additional 486 Square Feet at 14'4 in height to the current 1002 square foot one floor home closest to Generals Hwy. The site of the addition is the only reasonable space to be able to place the addition as behind the house closest to the corner of Baltimore Hill Rd and Generals Hwy holds the Septic system and the front of the home is the driveway and would not allow for enough space for the requested square footage. The placement of the proposed addition would make the shape of the home a rectangle and look more esthetically pleasing.

This addition will be sited at 30 feet 7 inches from the front property line, requiring a reduction of 19 feet 5 inches to the front setback. The variance, if granted, is the minimum necessary to provide the relief sought and will not negatively impact adjacent properties or the overall character of the neighborhood. The area the addition will be made is well vegetated obscuring the view from those on Generals Hwy and will have limited view from those on Baltimore Hill Rd.

Thank you for your time and consideration. I can be contacted via phone or email if additional information or clarification is needed.

Sincerely,

Lisa Perez

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(443) 924.4345
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NOTE:

THE RECORD PLAT AND/OR DEED WAS FOUND TO BE ONE OR MORE OF THE FOLLOWING:

1. MATHEMATICALLY INCORRECT
2. DOES NOT AGREE WITH EXISTING FIELD MONUMENTATION
3. DOES NOT AGREE WITH TAX ASSESSMENT RECORDS
4. DOES NOT AGREE WITH THE APPARENT LINES OF POSSESSION
4. DOES NOT AGREE WITH PRIOR SURVEYS

INFORMATION SHOWN HEREON IS A COMBINED INTERPRETATION OF SOME OR ALL OF THE ABOVE.

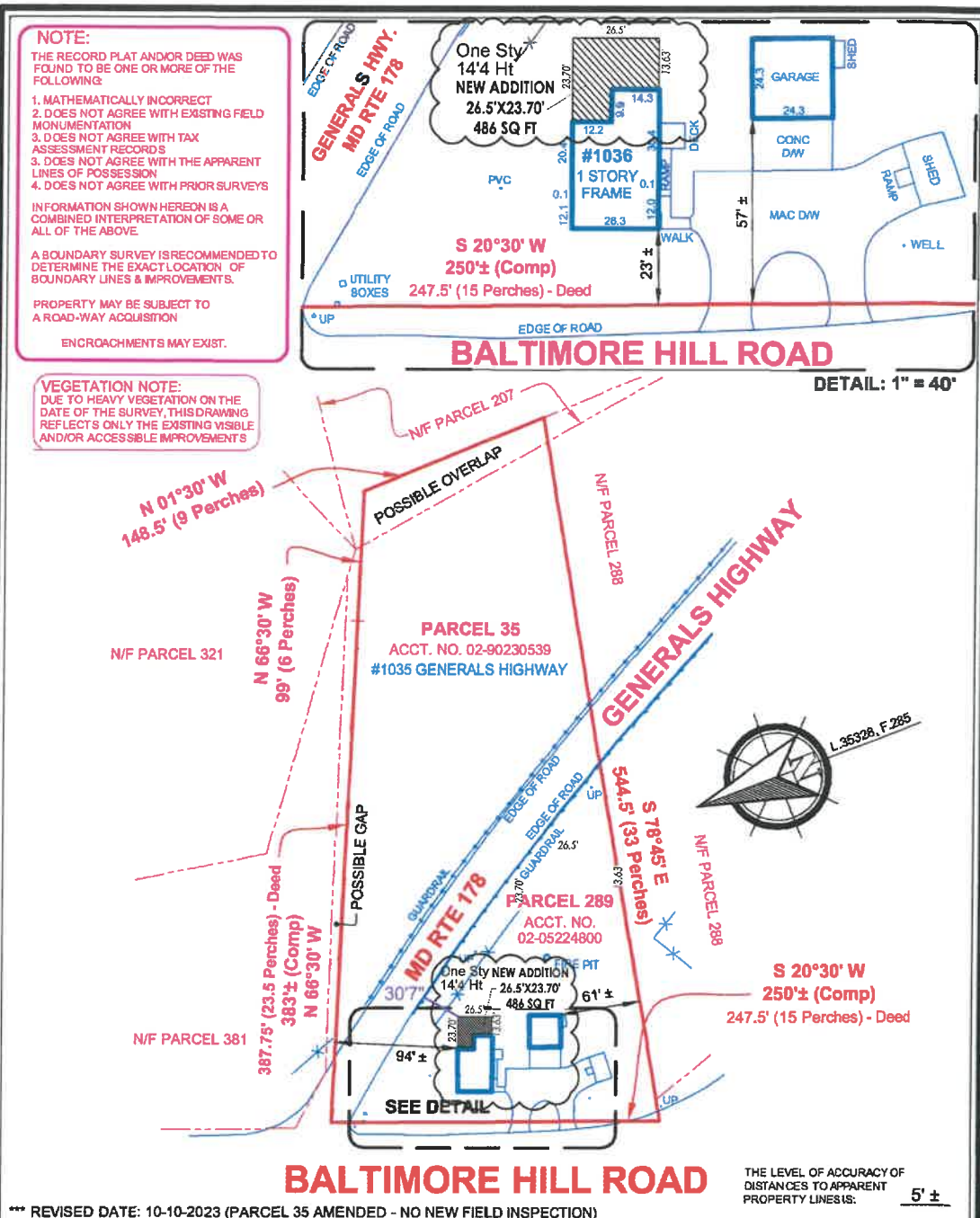
A BOUNDARY SURVEY IS RECOMMENDED TO DETERMINE THE EXACT LOCATION OF BOUNDARY LINES & IMPROVEMENTS.

PROPERTY MAY BE SUBJECT TO A ROAD-WAY ACQUISITION

ENCROACHMENTS MAY EXIST.

VEGETATION NOTE:

DUE TO HEAVY VEGETATION ON THE DATE OF THE SURVEY, THIS DRAWING REFLECTS ONLY THE EXISTING VISIBLE AND/OR ACCESSIBLE IMPROVEMENTS



*** REVISED DATE: 10-10-2023 (PARCEL 35 AMENDED - NO NEW FIELD INSPECTION)

THE LEVEL OF ACCURACY OF DISTANCES TO APPARENT PROPERTY LINES IS: **5' ±**

LOCATION DRAWING OF:

**#1036 BALTIMORE HILL ROAD
PARCEL 289 - TAX MAP 38 and
#1035 GENERALS HIGHWAY
PARCEL 35 - TAX MAP 38
LISA PEREZ PROPERTIES
AS DESCRIBED IN
LIBER 35328, FOLIO 285
ANNE ARUNDEL COUNTY, MARYLAND**

SCALE: 1"=100' DATE: 04-24-2023 ***

DRAWN BY: CP/JCW

FILE #: 233104-200

LEGEND:

— FENCE
B/E - BASEMENT ENTRANCE
B/W - BAY WINDOW
B/L - BLDG. RESTRICTION LINE
B/SMT - BASEMENT
C/S - CONCRETE STOOP
C/C - CONCRETE
D/W - DRIVEWAY
E - EXISTING
F - FRAME
M/C - MACADAM
N/F - NOW OR FORMERLY
O/H - OVERHANG
P/UE - PUBLIC UTILITY ESMT.
U/P - UTILITY POLE

COLOR KEY:

(RED) - INFORMATION
(BLUE) - IMPROVEMENTS
(GREEN) - ESMTS & RESTRICTION LINES

A Land Surveying Company

**DULEY
and
Associates, Inc.**

Serving D.C. and MD.

14604 Elm Street, Upper Marlboro, MD 20772

Phone: 301-888-1111

Fax: 301-888-1114

Email: orders@duley.biz

On the web: www.duley.biz

SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT I WAS IN RESPONSIBLE CHARGE OVER THE PREPARATION OF THIS DRAWING AND THE SURVEY WORK REFLECTED HEREON AND IT IS IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN REGULATION 12 CHAPTER 09.13 OF THE CODE OF MARYLAND ANNOTATED REGULATIONS. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF FENCES, BUILDING, OR OTHER IMPROVEMENTS. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar as IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 5' ±. NO TITLE REPORT WAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS MAY NOT BE SHOWN ON THIS SURVEY. IMPROVEMENTS WHICH IN THE SURVEYOR'S OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN. IF IT APPEARS ENCROACHMENTS MAY EXIST, A BOUNDARY SURVEY IS RECOMMENDED.

DULEY & ASSOC.

WILL GIVE YOU A 100%
FULL CREDIT TOWARDS
UPGRADING THIS
SURVEY TO A
"BOUNDARY/STAKE"
SURVEY FOR ONE
YEAR FROM THE DATE
OF THIS SURVEY.
(EXCLUDING D.C. & BALT. CITY)

GENERAL NOTES

CONSTRUCTION SHALL CONFORM TO ALL CODES AND REGULATIONS HAVING JURISDICTION OF ANNE ARUNDEL COUNTY.

ALL TRADES PERFORMING WORK SHALL MEET OR EXCEED CODE REQUIREMENTS WITH REGARD TO MATERIALS, CONSTRUCTION, AND INSTALLATION METHODS.

ALL TRADE (PLUMBING, ELECTRICAL AND MECHANICAL) DWGS ARE SCHEMATIC EACH APPLICABLE CONTRACTOR TO INTRODUCE NEW WORK AND TIE INTO EX. WHERE APPROPRIATE IN MOST EFFICIENT MANNER WHILE COMPLYING WITH ALL CODES.

THESE DRAWINGS HAVE BEEN DEVELOPED IN COORDINATION WITH PROJECT SPECIFICATIONS. THE DRAWINGS AND SPECIFICATIONS SHALL BE USED TO COMPLEMENT EACH OTHER.

REVIEW CONTRACT DOCUMENTS AND FIELD DIMENSIONS AND CONDITIONS. CONFIRM THAT WORK IS BUILDABLE AS SHOWN. PROMPTLY REPORT ANY ERRORS, CONFLICTS, OR OMISSIONS TO THE ARCHITECT FOR CLARIFICATION PRIOR TO PERFORMING ANY WORK IN QUESTION. IF THE CONTRACTOR FAILS TO NOTIFY ARCHITECT OF A KNOWN NONCONFORMITY, THEN THE CONTRACTOR IS TO PAY SUCH COSTS AND DAMAGES TO THE OWNER AS WOULD HAVE BEEN AVOIDED IF NOTIFICATION HAD BEEN PERFORMED.

COORDINATE WORK WITH THE OWNER/TENANT, INCLUDING SCHEDULING TIME AND LOCATIONS FOR DELIVERIES, BUILDING ACCESS, USE OF BUILDING SERVICES AND FACILITIES, AND USE OF ELEVATORS. MINIMIZE DISTURBANCE OF BUILDING FUNCTIONS AND OCCUPANTS.

CONTRACTOR SHALL ENSURE THAT CONTRACTOR EMPLOYEES AND SUBCONTRACTORS SHALL COMPLY WITH ALL BUILDING RULES AND REGULATIONS.

OWNER WILL PROVIDE WORK NOTED "BY OTHERS" OR "NIC" UNDER SEPARATE CONTRACT.

INCLUDE THESE IN CONSTRUCTION PROGRESS SCHEDULE AND COORDINATE TO ASSURE ORDERLY SEQUENCE OF INSTALLATION.

COORDINATE WITH TELECOMMUNICATIONS, DATA, AND SECURITY SYSTEM INSTALLATION.

MAINTAIN EXITS, EXIT LIGHTING, FIRE PROTECTIVE DEVICES, AND ALARMS IN CONFORMANCE WITH CODES AND ORDINANCES.

WORK AREAS TO BE SECURE AND LOCKABLE DURING CONSTRUCTION. COORDINATE WITH TENANT AND LANDLORD TO ENSURE SECURITY.

PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.

DURING CONSTRUCTION, EACH TRADE SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED BY THEIR WORK.

DRAWING INDEX

- G001 COVER SHEET
- A001 ARCHITECTURAL NOTES
- A002 ARCHITECTURAL - DETAILS / SCHEDULE NOTES
- A003 ARCHITECTURAL - EXISTING CONDITION
- A004 ARCHITECTURAL - ARCHITECTURAL
- A005 ARCHITECTURAL - ELEVATION PLAN
- S001 STRUCTURAL NOTES
- S002 STRUCTURAL - FOUNDATION & FRAMING
- S003 STRUCTURAL FRAMING & SECTIONS
- S004 STRUCTURAL BRACED WALL

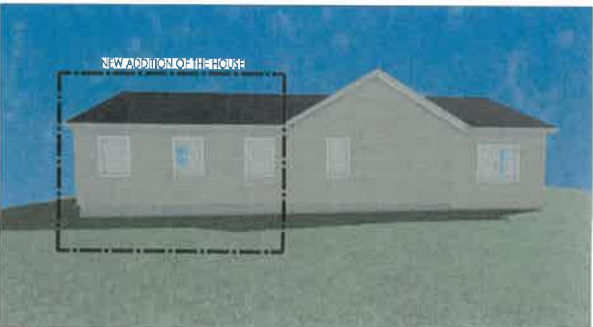
SCOPE WORK

NEW ADDITION - 1 STORY (466 SQ. FT.)



INSULATION / ENERGY NOTES

- CLIMATE ZONE: 4
- WINDOWS/DOORS GLAZED
- FENESTRATION U-FACTOR: 0.32
- WINDOWS/DOORS GLAZED
- FENESTRATION SHGC: 0.55
- SKYLIGHT U-FACTOR: 0.40
- SKYLIGHT SHGC: 0.40
- CEILING R-VALUE: 49
- WOOD FRAME WALL R-VALUE: 20 OR 13+5
- MASS WALL R-VALUE: 8/13
- FLOOR R-VALUE: 19
- BASEMENT c WALL R-VALUE: 10/13
- SLAB c R-VALUE & DEPTH: 10/21
- CRAWL SPACE c WALL R-VALUE: 10/13



OWNER INFORMATION
1036 BALTIMORE HILL RD
CROWNSVILLE MD 21032
PROPERTY INFORMATION

EXISTING CONDITION
SDF 1 STORY
JURISDICTION: ANNE ARUNDEL COUNTY
YEAR: 1940
LOT: 2.50 ACRES
PARCEL #: 0200005224800

PROPOSED
OFFICE & REC ROOM

PROJECT: NEW SIDE ADDITION



APPLICABLE CODES

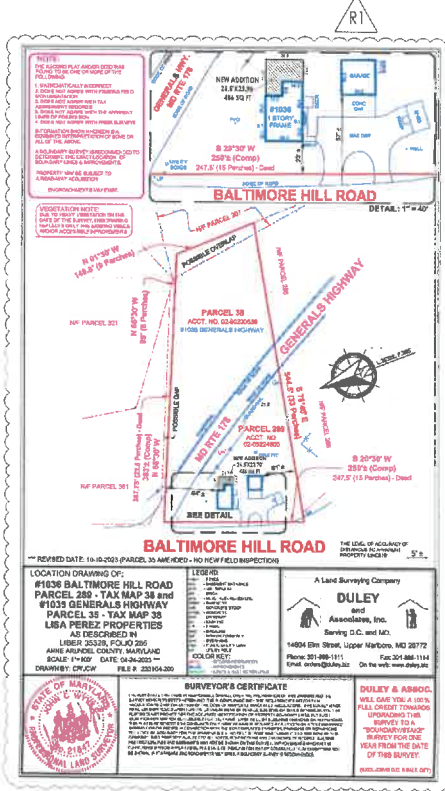
ANNE ARUNDEL COUNTY
INTERNATIONAL BUILDING CODE / 2021
INTERNATIONAL EXISTING BUILDING CODE (IEBC) / 2021
INTERNATIONAL ENERGY CONSERVATION CODE / 2021
INTERNATIONAL RESIDENTIAL CODE / 2021



"I, the undersigned, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 12109, Expiration Date: 11/6/26.

IRC 2021 DESIGN CRITERIA

- Floor Live Load 40 spf
- Roof Live Load 30 spf
- Dead Loads 10 spf
- Ground Snow Load 25 spf
- Wind Speed Exposure 115 mph
- Seismic Design Category A
- Weathering Severe
- Frost Line Depth 30"
- Termite Area Moderate to Heavy
- Decay Area Slight to Moderate
- Winter Design Temperature 13 F
- Ice Shield Underlayment Yes, Required
- Road Hazard
- Air Freezing Index 300
- Mean Annual Temperature 55 F



SITE PLAN
SCALE: INDICATED

PROJECT DESCRIPTION: 1036 BALTIMORE HILL RD CROWNSVILLE MD 21032

SHEET TITLE: COVER SHEET

DATE: 30/06/2025

SCALE: N/S

SHEET: G001

GENERAL REQUIREMENTS

WORK PERFORMANCE SHALL COMPLY WITH THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS. WORK PERFORMANCE SHALL COMPLY WITH ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS.

OWNER VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SUB-CONTRACTORS.

DISCREPANCIES: THE CONTRACTOR SHALL COORDINATE AND COORDINATE ALL DIMENSIONS WITHIN THE SCOPE OF THE CONTRACT. A DISCREPANCY EXISTS IF A PLAN DIMENSION DIFFERS BY 1/8" OR MORE FROM THE DIMENSION FOR THE PRELIMINARY MEASUREMENT BEFORE PROCEEDING WITH THE WORK.

ALL WORK IS TO BE PERFORMED BY A PROFESSIONAL HANDED AND IN ACCORDANCE WITH STANDARD PRACTICES AND SHALL BE IN STRICT COMPLIANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND/OR RECOMMENDATIONS.

CAREFUL: IN THE EVENT OTHER FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THE CONSTRUCTION SHALL BE OF THE SAME CHARACTER AND FOR SIMILAR CONDITIONS THAT ARE SHOWN ON THE NOTES.

DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED. ALL DIMENSIONS ARE TO THE FURTHEST UNLESS NOTED OTHERWISE.

THE GENERAL AND SUB-CONTRACTORS SHALL CAREFULLY EXAMINE THE DRAWINGS, INSPECT THE SITE AND ADJUST THEMSELVES WITH ALL GOVERNING ORDINANCES, LAWS, ETC., AND OTHERWISE FAMILIARIZE THEMSELVES WITH ALL MATTERS WHICH MAY AFFECT PERFORMANCE OF THE WORK.

CONTRACTORS ARE RESPONSIBLE FOR VERIFYING THE LOCATION AND CONDITION OF ALL POINTS OF COMMERCIAL, LOCAL AND COORDINATE OF ALL BUILDING (PROPOSED/EXISTING) FEATURES, LOCATION AND CONDITION OF ALL UTILITIES AND BUILDING SYSTEMS INCLUDING, BUT NOT LIMITED TO, GAS, WATER, SEWER, WIRE, ELECTRICAL, BUILDING MECHANICAL, PESTICIDE, DUCT CONNECTIONS, DRAINAGE, AND CONSTRUCTION, SECURITY, PERMITS, DATA, AND HIGH-PRESSURE TO SUBMITTALS OF PERMITS.

CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING ALL PHASES OF CONSTRUCTION WITH THE BUILDING OWNER, ALL OTHER BUILDERS, AND THE CITY BUILDING DEPARTMENT. THE CONTRACTOR SHALL ADVISE THE CONTRACT SHALL CONDUCT A PRE-CONSTRUCTION MEETING THAT INCLUDES THE BUILDING OWNER, SUB-CONTRACTORS, AND CITY INSPECTOR TO VERIFY FINAL LOCATION AND CLEARANCES OF EQUIPMENT, MECHANICAL/ELECTRIC/AUTOMATIC BUILDINGS, (CDA, BRUSH, AIR, ETC.) AND COMPLIANCE WITH ALL APPLICABLE CODES.

ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE CONDITIONS OBSERVED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.

BEFORE CONSTRUCTION DATA HAS BEEN OBTAINED BY THE ARCHITECT, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND CONDITION OF ALL UTILITIES AND BUILDING SYSTEMS INCLUDING, BUT NOT LIMITED TO, GAS, WATER, SEWER, WIRE, ELECTRICAL, BUILDING MECHANICAL, PESTICIDE, DUCT CONNECTIONS, DRAINAGE, AND CONSTRUCTION, SECURITY, PERMITS, DATA, AND HIGH-PRESSURE TO SUBMITTALS OF PERMITS.

THE CONTRACTOR SHALL PERFORM ALL WORK, TEST AND SUPPLY ALL MATERIALS AND EQUIPMENT IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS OF THE CITY AND STATE.

IF THE GENERAL CONTRACTOR IS TO PROVIDE TEMPORARY LIGHT, THERMAL, CLEAN UP SERVICE, AND REMOVE ALL TEMPORARY WORK PRIOR TO COMPLETION OF JOB.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR INVITING THE SUB-CONTRACTORS COORDINATE THEIR WORK WITH THE WORK OF THE OTHER TRADER INVOLVED IN THE PROJECT.

THE CONTRACTOR IS TO KEEP A FULL SET OF UNLESS OTHERWISE SPECIFIED IN THE CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING, MAINTAINING, AND SUPPLYING ALL SAFETY PRECAUTIONS AND PROGRAMS NECESSARY FOR COMPLETION OF WORK.

PROVIDED HEREIN HAVE BEEN SET FORTH BECAUSE THEY REFLECT THE STANDARDS OF QUALITY, DESIGN, OR POSSIBLE FEATURES REQUIRED TO PRESERVE THE DESIGN CONCEPT. THE ARCHITECT THEREFORE PRESERVES THE RIGHT TO REQUIRE THE USE OF THE SPECIFIED ITEMS, ANY REQUESTS FOR ALTERNATES FOR SPECIFIED ITEMS MUST BE SUBMITTED TO THE ARCHITECT IN WRITING, TOGETHER WITH PROOF OF THE EQUIVALENT OF EACH ITEM IN ALL CASES. THE BURDEN OF PROOF OF EQUIVALENT SHALL BE WITH THE BIDDER AND THE DECISION OF THE ARCHITECT SHALL BE FINAL.

THE OWNER, ARCHITECT, OR ENGINEER WILL NOT BE RESPONSIBLE FOR ANY VERBAL REPRESENTATIONS, ALL DATA FROM OWNER, CRAFTSMAN, AND SIMILAR TYPES OF DATA ARE TO BE RECEIVED FROM THE OWNER. A SIGNATURE, TRADE NAME, TO BE ALLOWED TO ACCOMPLISH ALL MATERIALS AND LABOR TO BE GUARANTEED FOR ONE YEAR FROM THE DATE OF FINAL PAYMENT.

CONTRACTOR TO PROVIDE SUPPLY AND INSTALL ALL EQUIPMENT, LABOR SERVICES, AND MATERIALS REQUIRED FOR THE COMPLETE APPROVED INSTALLATION OF THE SYSTEM AS CALLED FOR BY ALL MATERIALS, CONSTRUCTION, AND FINISHES TO BE IN THE BEST INTEREST OF THE PROJECT AND TO BE IN THE BEST QUALITY AVAILABLE AND SHALL BE IN FULL COMPLIANCE WITH ALL APPLICABLE CODES AND SHALL BE INSTALLED ABOVE CEILING GRID.

THE CONTRACTOR SHALL KEEP ALL HANDS, PARTS, AND ETC. IN A SEALED ENVELOPE, ALL KEYS TO BE KEPT IN THE PROJECT LOCATIONS, THIS ENVELOPE SHOULD BE TURNED OVER TO THE SUB-CONTRACTOR WITH THE CONTRACT DOCUMENTS.

IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO HAVE A CAREFUL INSPECTION OVER THE CONSTRUCTION AT A POINT, ADVISING THAT THE WORK ON THAT PORTION OF THE PROJECT IS READY FOR FINAL ACCEPTANCE BEFORE COMPLETION OF THE PROJECT AND CHANGES TO BE MADE SHALL BE MADE.

THE TRADER, GENERAL CONTRACTOR, SUB-CONTRACTORS, AND OTHER REPRESENTATIVES SHALL BE FAMILIAR WITH ALL FEATURES OF THE LEASE AGREEMENT WHICH GOVERN THE DESIGN OF THE LEASED PREMISES. THE CONTRACTOR SHALL OBTAIN AND REVIEW A SET OF ALL RULES AND REGULATIONS PRIOR TO SUBMITTING AN OFFER.

CONTRACTOR SHALL MAINTAIN, CLEAN, AND ETC. AT ALL TIMES BY CONTRACTORS AT LOCATIONS OF ELECTRICAL AND TELEPHONE CABLES, TYPICAL PRECAUTIONS.

CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS AS REQUIRED TO COMPLETE CONSTRUCTION OF THE PROJECT, UNLESS OTHERWISE NOTED.

PERMIT OF THESE DOCUMENTS IS TO PROVIDE FOR THE ESTABLISHMENT OF THE PROJECT, CONVENTS AND FUNCTIONAL, IN ALL RESPECTS, ALL CONTRACTORS SHALL BE RESPONSIBLE FOR THE REGULATION OF THE PROJECT, UNLESS OTHERWISE NOTED.

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1. ROOMS

CONTRACTORS (GENERAL CONTRACTOR AND SUB-CONTRACTORS) ROOMS: THE PROJECT ARE REQUIRED TO VISIT THE JOB SITE AND VERIFY THE EXISTING CONDITIONS PRIOR TO SUBMITTING THEIR BID. CONTRACTORS ARE TO CAREFULLY REVIEW ALL CONSTRUCTION DOCUMENTS AND HAVE ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE CONDITIONS OBSERVED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.

THE BID SHALL BE BASED ON THE USE OF ALL EQUIPMENT, MATERIALS, MANUFACTURERS AND SYSTEMS DESCRIBED IN THIS SET OF CONSTRUCTION DOCUMENTS UNLESS SPECIFICALLY INDICATED OTHERWISE.

ANY DISCREPANCIES BETWEEN THE CONSTRUCTION DOCUMENTS AND THE CONDITIONS OBSERVED SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH CONSTRUCTION.

GENERAL CONTRACTOR TO PROVIDE BIDDING BASED ON ALL FORMING COSTS OR FOLLOWING INSTRUCTIONS PROVIDED BY OWNER.

1. REGULATORY REQUIREMENTS: THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING ORDINANCES, LAWS, ETC., AND OTHERWISE FAMILIARIZE THEMSELVES WITH ALL MATTERS WHICH MAY AFFECT PERFORMANCE OF THE WORK.

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IV. LAYOUT NOTES

THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATION OF ANY AND ALL MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER EQUIPMENT. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATION OF ANY AND ALL MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER EQUIPMENT. THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATION OF ANY AND ALL MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER EQUIPMENT.

WHERE A DRAWING DIMENSION IS NOTED AS "TYPICAL" (TYP.), THE DIMENSION SHALL INDICATE CLEARANCES AT COMPLETED CONDITIONS, TAKING INTO ACCOUNT ALL MATERIALS AND FINISHES.

ALL DIMENSIONS NOTED "TYPICAL" AND "VERIFY IN FIELD" (VIF) ARE TO BE CHECKED BY CONTRACTOR PRIOR TO CONSTRUCTION. UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE BASED ON THE EXISTING CONDITIONS.

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ALLOWABLE TOLERANCES - UNLESS OTHERWISE NOTED OR INDICATED, THE FOLLOWING TOLERANCES SHALL APPLY TO ALL WORK:

1. ALL VERTICAL SURFACES SHALL BE PLUMB OR CONSTRUCTED TO THE EXACT SLOPE OF ANY SLOPE INDICATED.

2. THE MAXIMUM DEVIATION FROM THE TRUE PLANE FOR WORKING AND WORKING SURFACES SHALL NOT BE GREATER THAN 1/8" IN 10' AS MEASURED BY A STRAIGHT EDGE PLACED ANYWHERE ON THE SURFACE. VARIANCE SHALL NOT BE LESS THAN 1/8" IN 10'.

3. ALL HORIZONTAL SURFACES SHALL BE LEVEL OR CONSTRUCTED TO THE EXACT ANGLE INDICATED OR INDICATED.

4. WALLS AND SLOPE INTERSECTIONS SHALL BE 90° OR TO THE EXACT ANGLE INDICATED OR INDICATED.

5. ALL JOINTS SHALL BE BUILT, STRAIGHT, EVEN AND SMOOTH.

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7. WHERE CONTRACTOR AND/OR SUB-CONTRACTOR IS INSTRUCTED TO ALIGN A WALL WITH TWO OR MORE COLLARS AND COLLARS ARE DISCOVERED TO BE OF UNEQUAL SIZE, THE LARGEST OF THE COLLARS WILL DETERMINE LOCATION OF THE WALL. THE WALL ALSO APPLY TO THE COLLARS AND COLLARS WILL.

8. NOT WITHSTANDING ANYTHING IN THE CONTRACT DOCUMENTS, THE CONTRACTOR ACCEPTS THE RESPONSIBILITY OF CONSTRUCTING A WEATHER-RESISTANT ROOF.

9. SITE MANAGEMENT: THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL THE TRADER SUB-CONTRACTORS AND SUPPLIERS.

10. THE CONTRACTOR SHALL ASSUME 20% RESPONSIBILITY FOR THE COST OF CONSTRUCTION DURING THE COURSE OF CONSTRUCTION OF THE PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY TO ALL CONSTRUCTION AND NOT LIMITED TO NORMAL WORKING HOURS.

11. THE CONTRACTOR SHALL NOT HAVE CONTROL, OR RESPONSIBILITY FOR CONSTRUCTION, FINISHES & METHODS, TECHNIQUES, CONSTRUCTION, SUB-CONTRACTOR OR ANY PERSONS PERFORMING ANY OF THE WORK OR FOR FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN CONFORMANCE WITH THE CONTRACT DOCUMENTS.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EVALUATING SAFETY IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS OF THE CITY AND STATE.

13. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND MATERIALS CAUSED BY THEIR WORK AND TRACES ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANUP TO PREVENT ANY DEBRIS OF DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS OR OUTSIDE OF THE JOB SITE.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND BUILDING SYSTEMS INCLUDING, BUT NOT LIMITED TO, GAS, WATER, SEWER, WIRE, ELECTRICAL, BUILDING MECHANICAL, PESTICIDE, DUCT CONNECTIONS, DRAINAGE, AND CONSTRUCTION, SECURITY, PERMITS, DATA, AND HIGH-PRESSURE TO SUBMITTALS OF PERMITS.

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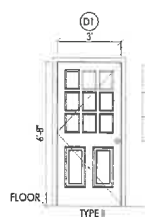
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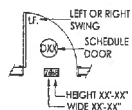


I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 115746 Expiration Date: 11/5/26

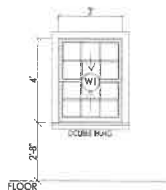
DOOR SCHEDULE



DOOR SCHEDULE				
TYPE	DOOR	HINGES	HARDWARE	MATERIAL
TYPE I	SWING	3	PRIVACY/LOCKSET	FIBERGLASS & GLASS



WINDOW SCHEDULE



WINDOWS.
SAFETY GLAZING TO BE USED IN WINDOWS IN ACCORDANCE WITH
IRC 2021 SECTION 308.
ALL WINDOWS TO BE RATED IN ACCORDANCE WITH NFRC.
EGRESS WINDOWS PER SECTION 1029 OF THE 2021 BUILDING CODE

WALL SCHEDULE



EXISTING EXTERIOR 2X4 STUD WALL W/SIDING



EXISTING INTERIOR 2X4 STUD WALL



NEW EXTERIOR 2X4 STUD WALL W/SIDING



NEW INTERIOR 2X4 STUD WALL

MECHANICAL ENGINEER
Vican
Design & Construction, LLC
10336 BALTIMORE HILL RD
CROWNSVILLE MD 21032
vicanllc.com

NO.	DESCRIPTION	DATE
1	DESIGN PERMIT SET	10/21/2025
2	REVIEW	07/07/2025

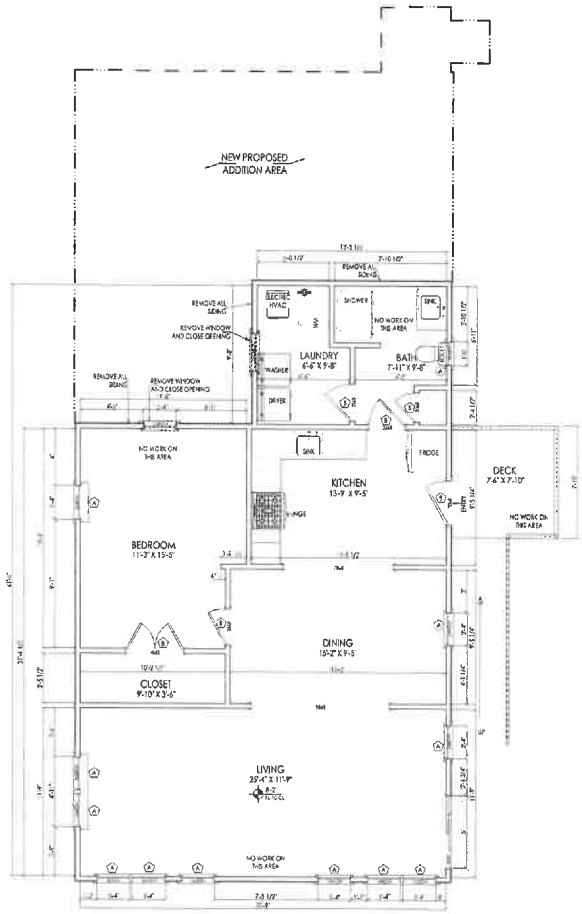
SHEET TITLE:
ARCHITECTURAL
DETAILS / SCHEDULE NOTES

PROJECT DESCRIPTION:
10336 BALTIMORE HILL RD
CROWNSVILLE MD 21032

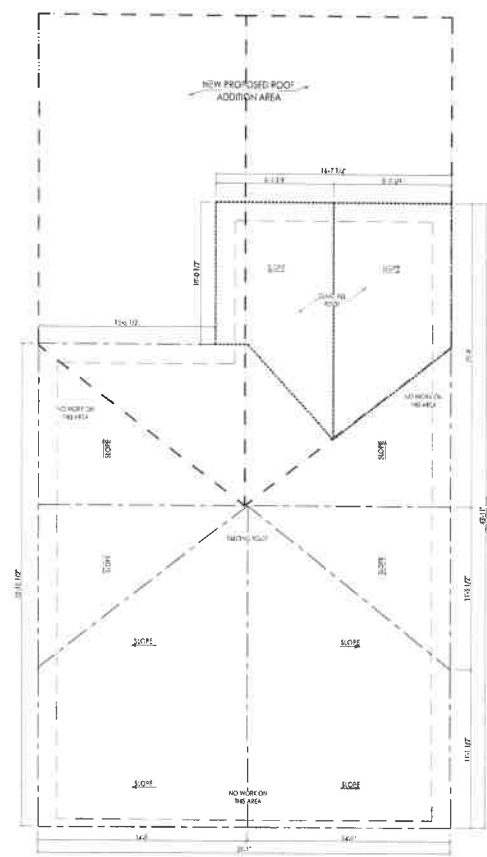
DATE:
30/06/2025
SCALE:
N/S
SHEET:
A002



I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 113726, Expiration Date: 11/3/26



1 ARCHITECTURAL - EXISTING CONDITION
SCALE: 1/4" = 1'-0"
1ST FLOOR



2 ARCHITECTURAL - EXISTING CONDITION
SCALE: 1/4" = 1'-0"
ROOF PLAN

GENERAL DEMOLITION NOTE

PROVIDE TEMPORARY SUPPORT & SHORING AS REQUIRED BEFORE NEW WORK IS IN PLACE.
RECYCLE MATERIALS PER GOOD WASTE MANAGEMENT PRACTICES.
PROVIDE DUST ENCLOSURE AND LIMIT INTRUSIONS OUTSIDE OF THE WORK AREA.
DEMOLISH FINISH CEILINGS, WALLS, ETC. AS REQUIRED FOR UTILITY CONNECTIONS, WIRING, STRUCTURAL MEMBERS, ETC. PER CONTRACTORS NECESSITY IN AREAS OF HOME NOT TO BE RENOVATED.
PATCH TO MATCH EXISTING AS REQUIRED.
PROTECT FINISHES TO REMAIN FROM DAMAGE. REPAIR EXPEDITELY TO MATCH EXISTING IF DAMAGED.
MAJOR AREAS OF DEMOLITION ARE SHOWN FOR CLARITY. CONTRACTOR TO REFER TO ENTIRE DRAWING SET TO DETERMINE OTHER AREAS OF DEMOLITION.

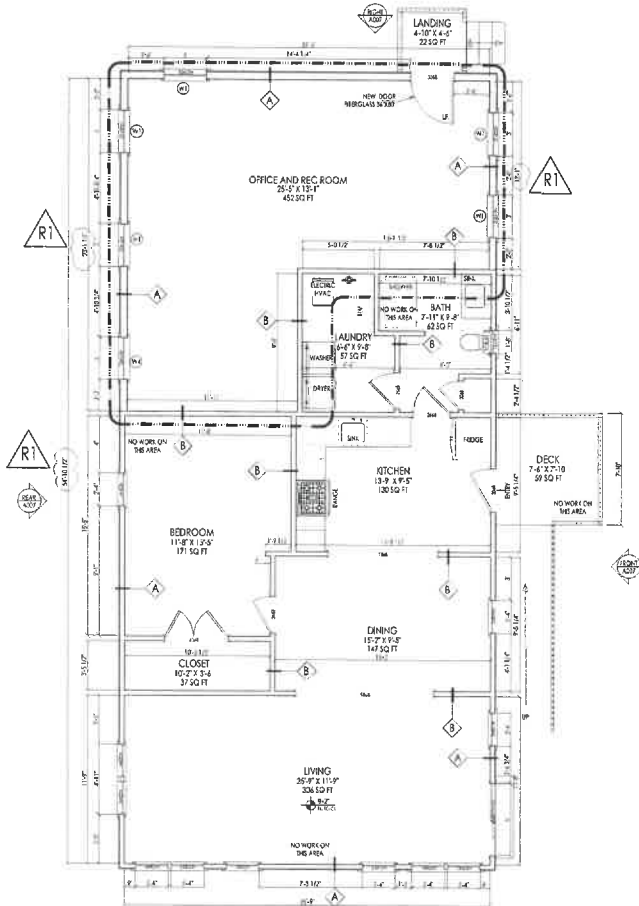
NOTE

CONTRACTORS SHALL VERIFY ALL DIMENSIONS, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS. SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS "CONSTRUCTION SET", ARE BEING USED.
ALL DIMENSIONS NOTED ± ARE TO BE ADJUSTED AS REQUIRED PER FIELD CONDITION.
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PATCH & REPAIR ALL FINISHES, SUBSTRATES, ETC. IN ALL AREAS AFFECTED BY THE WORK & BETWEEN SPECIFIC WORK LOCATIONS.
ALL NEW WALLS TO HAVE 1/2" GYP BOARD FOR PAINT EXCEPT TILE & WET LOCATIONS WHICH ARE TO HAVE CEMENTITIOUS BACKER BOARD.
TO INSTALL STRUCTURAL CONTRACTOR IS TO REMOVE FLOOR AND/OR CEILING ASSEMBLIES AS REQUIRED TO MAKE AND/OR COMPLETE ALL WORK.
TEMPORARILY REMOVE INFRASTRUCTURE SUCH AS LIGHTING, DUCT WORK, ETC. AS NECESSARY TO PERFORM WORK.

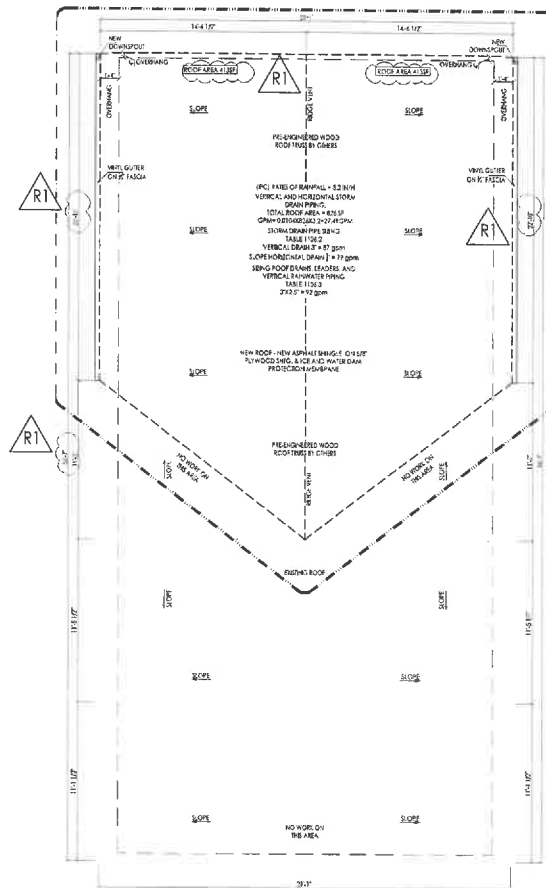
LEGEND

- EX. MASONRY WALLS
- EX. STUD WALLS
- NEW STUD WALLS
- PROJECTION FOUNDATIONS, ROOF, STAIRS
- DEMO/REMOVE/REPLACE
- ELECTRICAL PANEL
- EX. WINDOW TO REMAIN
- EX. DOOR TO REMAIN

DRAWING PROVIDED BY:	
Vican Design & Construction, LLC Specializing in New, Remodel and Renovation	
DATE:	02/11/2025
BY:	07/07/2025
NO. DESCRIPTION	A. DESIGN/FINISH SET
1	REVIEW
SHEET TITLE:	
ARCHITECTURAL EXISTING CONDITION	
PROJECT DESCRIPTION:	
1034 BALTIMORE HILL RD CROWNSVILLE MD 21032	
DATE:	30/06/2025
SCALE:	1/4"=1'-0"
SHEET:	A003



1 ARCHITECTURAL - PROPOSED
SCALE: 3/4" = 1'-0"
1ST FLOOR



2 ARCHITECTURAL - PROPOSED
SCALE: 3/4" = 1'-0"
ROOF PLAN

INTERIOR AREA

EXISTING	NEW ADDITION
ROOM NAME	ROOM NAME
BATH	OFFICE AND REC ROOM
LAUNDRY	REC ROOM
CLOSET	
KITCHEN	
BEDROOM	
CLOSET	
DINING	
LIVING	
TOTAL:	TOTAL:

R1

EXTERIOR AREA

LOT	2.5 Acre
AREA	SQ FT
EXISTING PROPERTY	1002
50% ALLOWED	501
NEW ADDITION	486
% USED	49%

R1

NOTE

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	EX. STUD WALLS
	NEW STUD WALLS
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	DEMO/REMOVE/REPLACE
	ELECTRICAL PANEL
	SMOKE DETECTOR HARDWIRED WITH BATTERY BACKUP
	CARBON MONOXIDE HARDWIRED WITH BATTERY BACKUP
	EX. WINDOW TO REMAIN
	EX. DOOR TO REMAIN



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 11574, Expiration Date: 11/5/24

DRAWING PROVIDED BY
Vican
Design & Construction, LLC
Specializing in New Buildings
1200 16th Ave.
Baltimore, MD 21202

NO.	DESCRIPTION	BY	DATE
1	DESIGN/FREEMIT SET		09/21/2025
1	REVIEW		07/07/2025

SHEET TITLE:
**ARCHITECTURAL
PROPOSED**

PROJECT DESCRIPTION:
**1036 BALTIMORE HILL RD
CROWNSVILLE MD 21032**

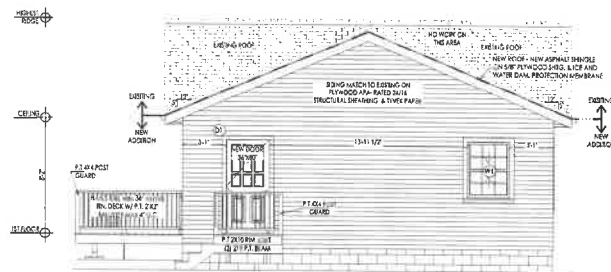
DATE:
30/06/2025

SCALE:
1/4" = 1'-0"

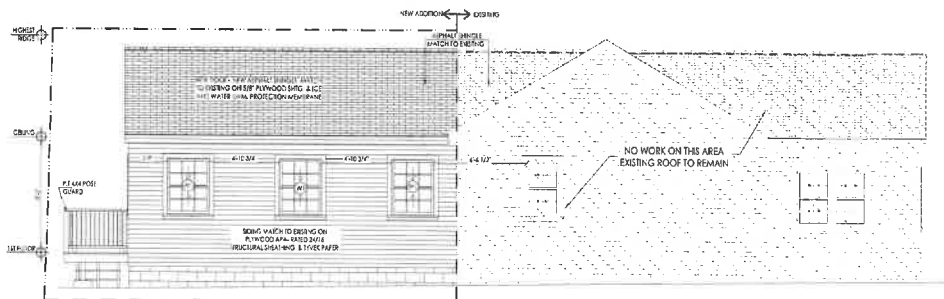
SHEET:
A004



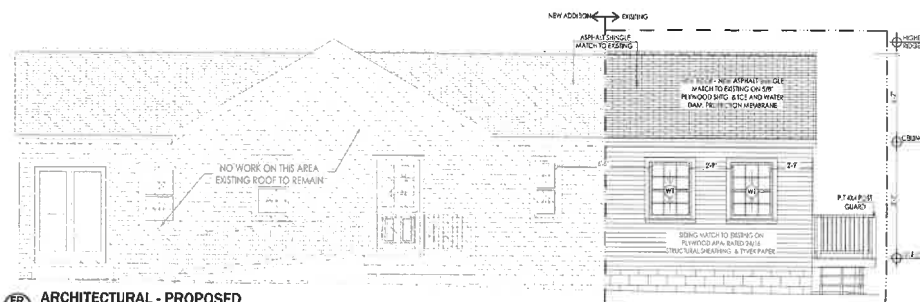
Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 16247, Expiration Date: 01/25/26



ARCHITECTURAL - PROPOSED
RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



ARCHITECTURAL - PROPOSED
REAR ELEVATION
SCALE: 1/4" = 1'-0"



ARCHITECTURAL - PROPOSED
FRONT ELEVATION
SCALE: 1/4" = 1'-0"

NOTE

CONTRACTORS SHALL VERIFY ALL DIMENSION, GRADES, ANY OTHER SITE CONDITIONS WITH THE PROPOSED PLANS. SCHEDULE PRIOR TO COMMENCING WITH THE WORK.
IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE SURE THE CORRECT SET OF PLANS, "CONSTRUCTION SET", ARE BEING USED. ALL DIMENSIONS NOTED ± ARE TO BE ADJUSTED AS REQUIRED PER FIELD CONDITION.
NEW WALL DIMENSIONS GIVEN FINISH TO FINISH, UNLESS NOTED OTHERWISE.
ALL WALL INRILLS [NEW] ALONG EXISTING WALLS TO MATCH EXISTING.
PATCH & REPAIR ALL FINISHES, SUBSTRATES, ETC. IN ALL AREAS AFFECTED BY THE WORK & BETWEEN SPECIFIC WORK LOCATIONS.
ALL NEW WALLS TO HAVE 1/2" GYP BOARD FOR PAINT EXCEPT TILE & WET LOCATIONS WHICH ARE TO HAVE CEMENTITIOUS BACKER BOARD.
TO INSTALL STRUCTURAL, CONTRACTOR IS TO REMOVE FLOOR AND/OR CEILING ASSEMBLIES AS REQUIRED TO MAKE AND/OR COMPLETE ALL WORK.
TEMPORARILY REMOVE INFRASTRUCTURE SUCH AS LIGHTING, DUCT WORK, ETC. AS NECESSARY TO PERFORM WORK.

DESIGNED BY: Ryan E. Ryan
DATE: 02/11/2025
PROJECT: 1034 BALTIMORE HILL RD
CROWNSVILLE MD 21032

NO.	DESCRIPTION	DATE	BY
A	DESIGN PERMIT SET	02/11/2025	
I	REVIEW	02/07/2025	

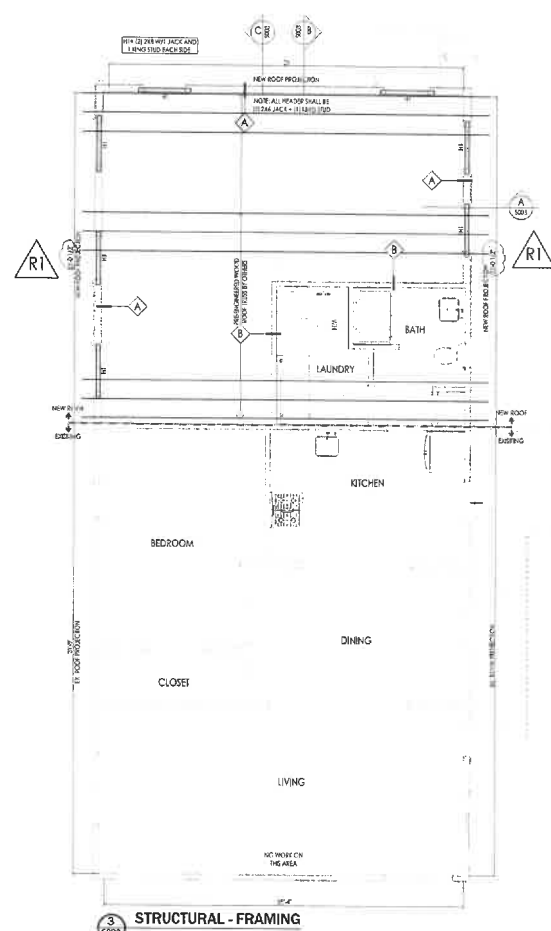
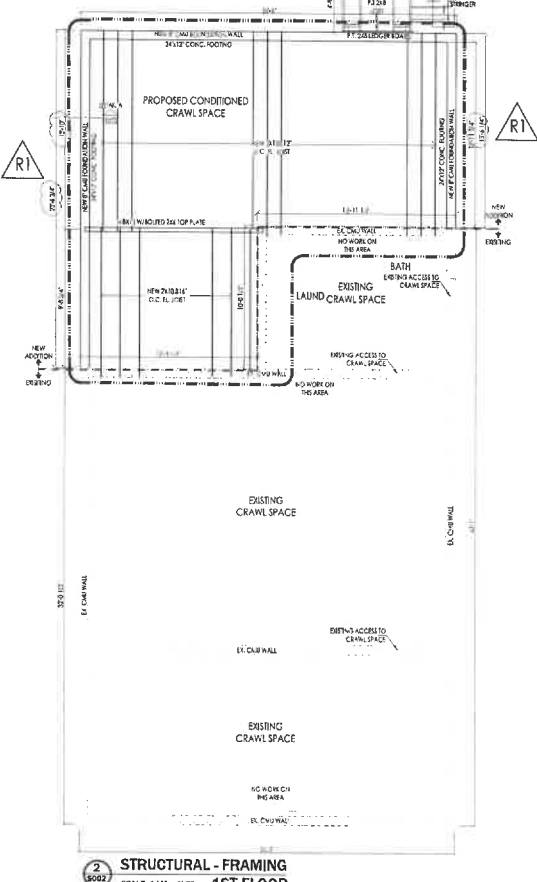
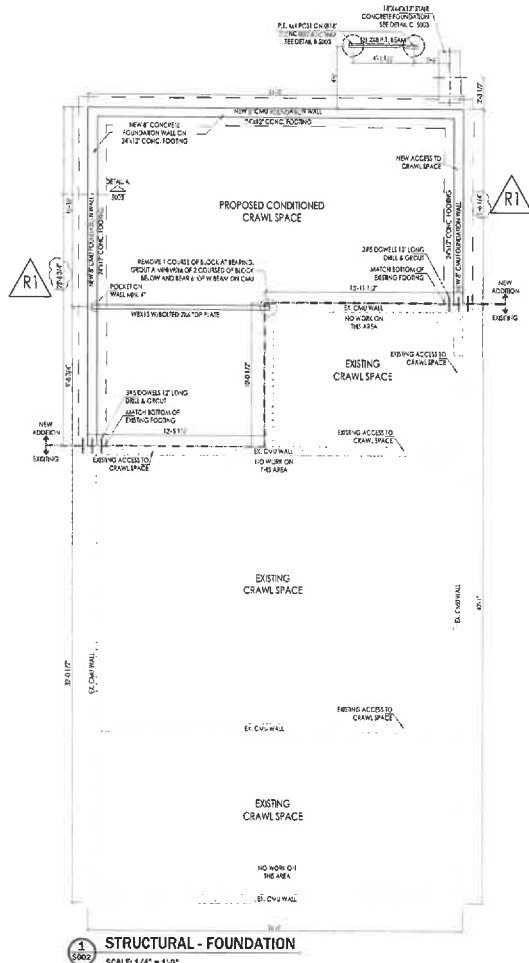
SHEET TITLE:
ARCHITECTURAL
ELEVATION PLAN

PROJECT DESCRIPTION:
1034 BALTIMORE HILL RD
CROWNSVILLE MD 21032

DATE:
30/06/2025
SCALE:
1/4"=1'-0"
SHEET:
A005



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 11574, Expiration Date: 11/3/24



LEGEND

	EX. MASONRY WALLS
	EX. STUD WALLS
	NEW STUD WALLS
	PROJECTION FOUNDATIONS, ROOF, STAIRS
	DEMO/REMOVE/REPLACE

DRAWING PROVIDED BY		BY DATE	
Vican		10/21/2025	
Design & Construction, LLC		07/21/2025	
1034 BALTIMORE HILL RD			
CROWNSVILLE MD 21032			
PROJECT DESCRIPTION:		STRUCTURAL	
		FOUNDATION & FRAMING	
DATE:		30/06/2025	
SCALE:		N/S	
SHEET:		S002	



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 66347. Expiration Date: 07/31/24

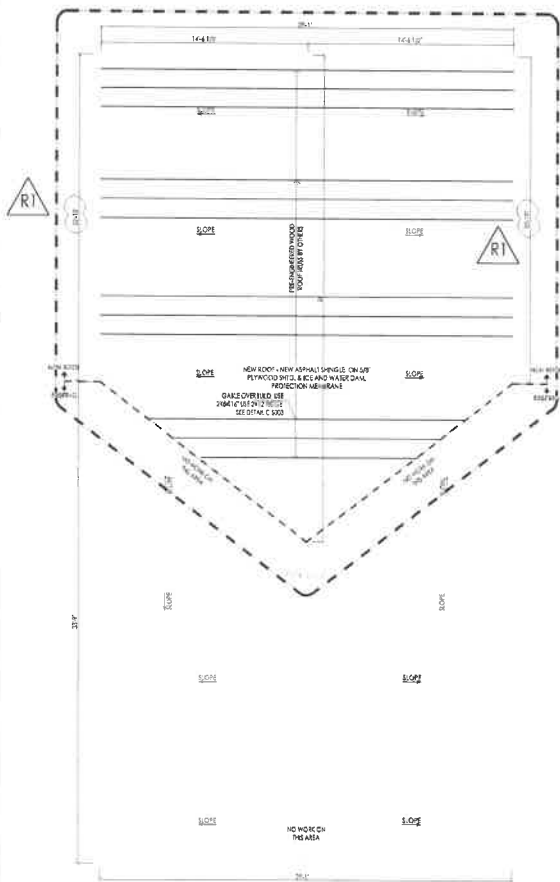
Drawings Provided By:
Vican
Design & Construction, LLC
12000 14th Ave
Baltimore, MD 21244
410-581-1414
www.vican-engineers.com

DATE	07/21/2025
BY	07/01/2025
NO. DESCRIPTION	
A. DESIGN PERMIT SET	
T. REVIEW	

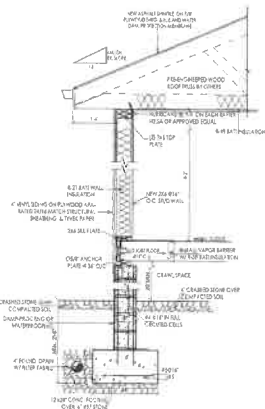
SHEET TITLE:
STRUCTURAL FRAMING & SECTIONS

PROJECT DESCRIPTION:
**1036 BALTIMORE HILL RD
CROWNSVILLE MD 21032**

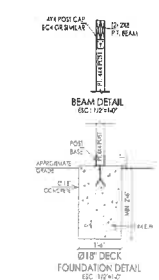
DATE:	30/06/2025
SCALE:	N/S
SHEET:	S003



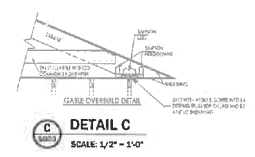
2
S003
STRUCTURAL - FRAMING ROOF PLAN
SCALE: 1/4" = 1'-0"



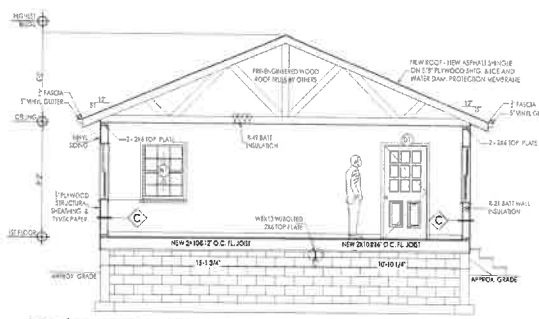
A
S003
DETAIL A
SCALE: 1/2" = 1'-0"



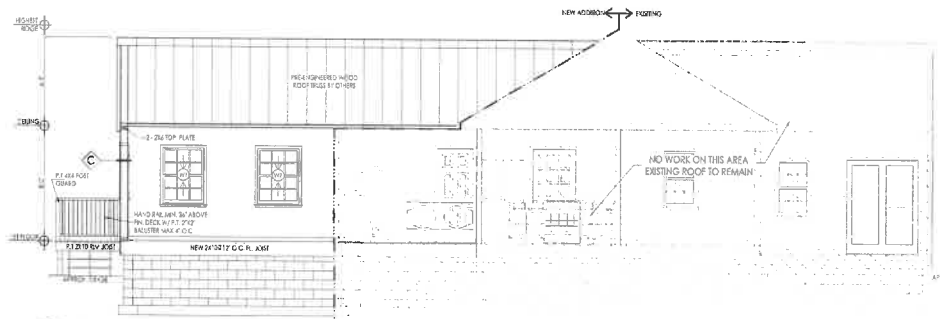
B
S002
DETAIL B
SCALE: 1/2" = 1'-0"



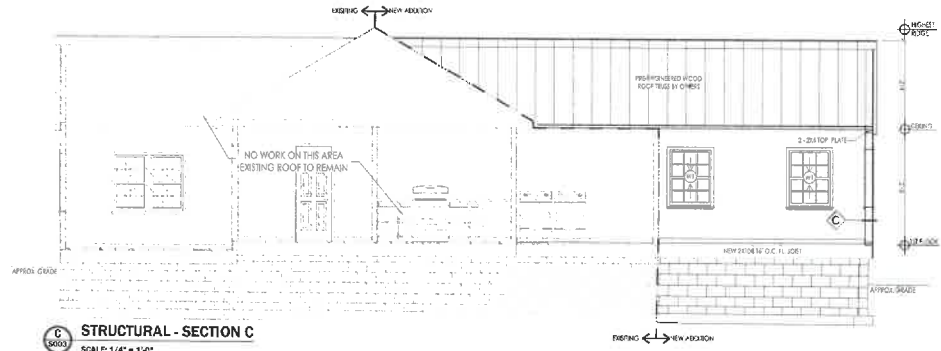
C
S003
DETAIL C
SCALE: 1/2" = 1'-0"



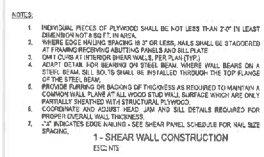
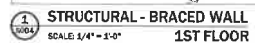
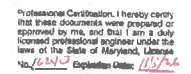
A
S003
STRUCTURAL - SECTION A
SCALE: 1/4" = 1'-0"



B
S003
STRUCTURAL - SECTION B
SCALE: 1/4" = 1'-0"



C
S003
STRUCTURAL - SECTION C
SCALE: 1/4" = 1'-0"



PUMFWOOD SHEAR PANEL SCHEDULE

PANEL DESIGNATION	EFFECTIVE PUMFWOOD	EDGE FINISHING	ADDITIONAL BOLT & SPACING	MIN. NO. OF BOLT & SPACING	MIN. NO. OF BOLT & SPACING PER EDGE WIDTH (STIFFENED EDGES)	ADDITIONAL FINISHING
A	1/2"	10W @ 12" O.C.	1/2" @ 12" O.C.	8	8	12"

NOTES:

- USE 1/2" LONG ANCHOR BOLTS TO CONCRETE, 1/2" OUT OF CENTER.
- USE DISPOSED 7/8" REINFORCING BARS 1/2" MIN. W/ 12" O.C.
- P. FINISHED SHALL BE APPLIED OVER 1/2" OF C.C. ON ONE SIDE OF STEEL.
- ANCHOR BOLTS APPLIED TO SPACES AT 12" O.C.
- ALL EXPOSED FASTENERS SHALL HAVE 1/2" OF C.C. ON ONE SIDE, 3/8" MIN. TYP. 1/2" O.C. BOLT ARE 1/2" LONG.
- ALL EXPOSED FASTENERS SHALL HAVE 1/2" OF C.C. ON ONE SIDE, 3/8" MIN. TYP. 1/2" O.C. BOLT ARE 1/2" LONG.
- ALL EXPOSED FASTENERS SHALL HAVE 1/2" OF C.C. ON ONE SIDE, 3/8" MIN. TYP. 1/2" O.C. BOLT ARE 1/2" LONG.
- ALL EXPOSED FASTENERS SHALL HAVE 1/2" OF C.C. ON ONE SIDE, 3/8" MIN. TYP. 1/2" O.C. BOLT ARE 1/2" LONG.

2- SHEAR PANEL SCHEDULE

ISC. NCS

PUMFWOOD FINISHING DETAILS

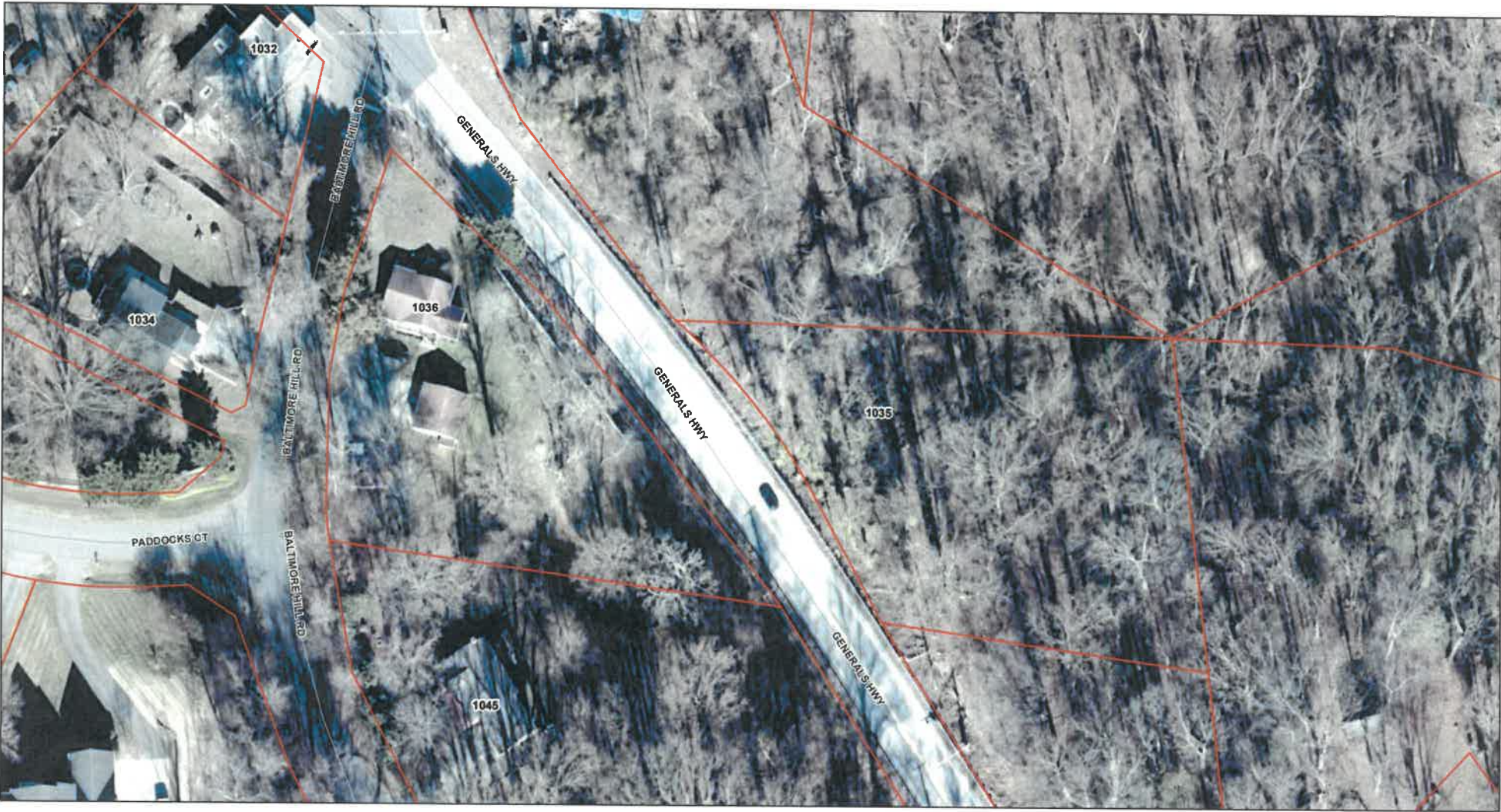
3- NAILING AT SPICE

ISC. NCS

4- SILL PLATE DETAILS

PROJECT DESCRIPTION:		SHEET TITLE:		DRAWINGS PROVIDED BY:	
1036 BALTIMORE HILL RD CROWNSVILLE MD 21032		STRUCTURAL BRACED WALL		Vican Design & Construction, LLC 1036 Baltimore Hill Road, Suite 100 Crownsville, MD 21032 www.vicandesign.com 1-800-555-5555	
DATE:	30/06/2025	NO.	DESCRIPTION	BY	DATE
SCALE:	N/S	1	DESIGN PERMIT SET		07/07/2025
SHEET:	S004	1	REVIEW		07/07/2025

Anne Arundel County Zoning Viewer



7/29/2025, 5:35:13 PM

- Address Points
- ▭ Parcels
- ▭ Green: Green
- ▭ Blue: Blue
- ▭ Red: Red
- Street Centerline
- Ortho 2024

