

June 21, 2025

Mr. Donnie Dyott  
Office of Planning and Zoning  
2664 Riva Road, 3<sup>rd</sup> Floor  
Annapolis, MD 21401

**RE: Magothy Beach Lot 19 p/o Lot 20**

**Variance submittal**

353 South Drive  
Severna Park, MD. 21146  
Tax Map 24, Grid 21, Parcel 345  
**B.P.#B02434661**

Dear Mr. Dyott:

This is a formal **Variance Application** submittal for the proposal renovations to the existing single-family home including a landward addition, screened porch, second-floor addition, associated decking, removal of existing retaining walls, removal of lot coverage within the 100-foot buffer, construction of an accessory Pool House, Shed, associated Pool and Sauna for the above referenced project. Two variance requests would be necessary including a variance to **Article 17-8-201(a)** to disturb 15% and greater slopes and a variance to **Article 18-4-701 Bulk Regulations** of 25-feet to the 25-foot front setback in an R-5 zoning district.

The property is an existing legal building site fronting Cattail Creek, is located in the (LDA) Limited Development Area Designation of the Critical Area and is within the Buffer Modification Area mapping. The property is 40,419 sq. ft. or 0.93 acres, is zoned R-5 Residential, is connected to public water and sewer via a private grinder pump. The existing principal structure is located against the bulkhead at the property line, entirely within the 25-foot front setback on a waterfront lot.

A pre-file review **#2025-0052-P** was completed by the Office of Planning and Zoning including comments from the Critical Area Team and were issued on June 6<sup>th</sup>, 2025. A complete topographic and location survey has been conducted to produce an accurate depiction of the sites' conditions, slopes, buffers and woodland canopy.

Per **Article 17-8-403**, the permitted lot coverage in the critical area after the required 10% reduction of what is existing verses what is permitted for this site is 7,321 sq. ft. The proposed lot coverage will be 7,321 sq. ft. which results in a reduction in lot coverage of 142 sq. ft. on site from the original existing coverage totaling 7,463 sq. ft. The combination of reduced coverage and water quality storage ultimately reduces impacts to adjacent properties and the shoreline post development. With regards to existing coverage within the 100-foot buffer, coverage is being reduced and relocated within the buffer further from the shoreline. Two waterside wood decks with one cantilevered over actual water, a concrete patio, multiple retaining walls, a paver walk, asphalt patio and wood steps all being eliminated.

Per Article 17-8-601(b)(2) **Lots greater than one-half acre up to one acre.** Developed woodland clearing on lots in the LDA and RCA that are greater than one-half acre and up to one acre in size that were in existence on or before December 1, 1985 shall be limited to the minimum necessary to accommodate a house or other structure, initial septic system, driveway, and reasonable amount of yard or required parking, and may not exceed 30% without a modification by the Planning and Zoning Officer.

The subject site has a majority of existing woodland canopy “outside” the 100-foot buffer and 25-foot steep slope buffer which is the only area available for additional accessory coverage development. The existing canopy coverage on site is 30,026 sq. ft. The permitted clearing of existing canopy per the Code is up to 30% or 9,008 sq. ft. With the assistance of a Certified Arborist, further reduction of existing canopy impacts will be addressed with critical root zone protection and root pruning techniques that would permit existing trees within or against the limit of disturbance to remain. The total proposed canopy clearing is 12,474 sq. ft. or 42% of the existing canopy. As referenced in the Code above, a Modification will be applied for to receive relief from the Code to exceed 30% clearing. Mitigation plantings will be addressed on site where possible and any remaining mitigation would be addressed via fee paid to an Off-site Land Bank.

#### **Code Article 18-16-305:**

**(a) Requirements for zoning variances.** The Administrative Hearing Officer may vary or modify the provisions of this article when it is alleged that practical difficulties or unnecessary hardships prevent conformance with the strict letter of this article, provided the spirit of law is observed, public safety secured, and substantial justice done. A variance may be granted only if the Administrative Hearing Officer makes the following affirmative findings:

- (1) Because of certain unique physical conditions, such as irregularity, narrowness or shallowness of lot size and shape or exceptional topographical conditions peculiar to and inherent in the particular lot, there is no reasonable possibility of developing the lot in strict conformance with this article; or
- (2) Because of exceptional circumstances other than financial considerations, the granting of a variance is necessary to avoid practical difficulties or unnecessary hardship and to enable the applicant to develop the lot.

#### **(b) Requirements for Critical Area Variances.**

- (1) Unwarranted Hardship and Practical Difficulty- There are several hardships and practical difficulties related to the re-development of the site. **First**, steep slopes of 15% and greater including the 25-foot buffer associated with those slopes are located at the northwest corner of the existing structure making it difficult to avoid those slopes while renovating the existing home and post development grading. **Second**, the 100-foot buffer covers 14,315 sq. ft. or 35% of the total lot area. **Third**, the existing principal structure is located entirely within the 100-foot buffer and against the bulkhead at the shoreline. Keeping the existing home’s footprint including the foundation assists in reducing negative impacts from demolition of a home against the shoreline.

- (2) Deprive the applicant of rights commonly enjoyed by other properties- the proposed improvements are in character with other dwellings in the neighborhood and surrounding properties. In fact, numerous existing homes in the immediate neighborhood have larger footprints than the subject home even after construction is completed.
- (3) Will not confer special privilege - granting this variance would not confer a special privilege to the applicants. The renovations/additions to the home are in character with the neighborhood as mentioned above.
- (4) Actions by Applicants and Neighbors- The variance is not based on conditions or circumstances that are the result of actions by the applicants or conditions or use on neighboring properties- conditions and circumstances are based on the unique physical characteristics of the lot.
- (5) Water Quality, Intent of the Critical Area Program. The requested variances will not adversely affect water quality, impact fish, and wildlife or plant habitat and be in harmony with the critical area program. Currently, the existing improvements have no means of storm water management. Environmental Site Design to the Maximum Extent Practicable will be addressed via multiple applications. The required ESD volume to be addressed with non-structural practices is 539 cu. ft. Disconnection of Non-Rooftop Runoff is being deducted from the overall lot coverage to be managed. There will be (1) "M-3" Landscape Infiltration Area to address a large portion of the accessory pool, pool house, and shed roof area and (2) "M-5" Micro Scale Drywells to address the landward portion of the renovated principal structure. The total volume provided is 549 cf. ft. All storm water management applications are outside the 100-foot buffer and do not encroach the 25-foot buffer to the top of steep slopes. (2) Geotechnical soil borings were performed to determine subsurface conditions.
- (6) Presumption Sec 8-1808(d)(2)(ii) – The applicants have overcome the presumption that the use for which the variances were requested were not in conformity with the purpose and intent of the Critical Area Program.

**(c) Requirements for all variances.**

1. Minimum necessary to afford relief - The proposed variances allow for modest uses that not only meets the "significant and reasonable standard" but also are the minimal necessary development to afford relief. Disturbance to the 15% steep slopes is the minimum necessary to construct the proposed improvements and to reduce the impervious surface area within the property's boundary.
2. The granting of the variance will not:
  - i. alter the essential character of the neighborhood, and all proposed development will be harmonious with the architectural styles and scale of the surrounding area.
  - ii. substantially impair the appropriate use or development of adjacent properties.
  - iii. reduce forest cover in the LDA. Vegetative clearing is reduced to the minimum necessary to construct the proposed improvements and will be mitigated appropriately during the permit process with a Reforestation/Buffer Management Plan.

- iv. be contrary to acceptable clearing or replanting practices required for development of the Critical Area. Clearing is only for what is necessary for construction and access, and the property is not located within a Bog Protection Area.
- v. be detrimental to the public welfare as constructing a single-family dwelling and associated improvements on a residentially zoned property will not impose harm to adjacent property owners or the public.

Denial of the requested variances and a strict implementation of the County's zoning and Critical Area Program would constitute unwarranted hardship and practical difficulty on the applicant and deprive them of the same rights and privileges others enjoy in the immediate neighborhood along the waterfront side of Cattail Creek.

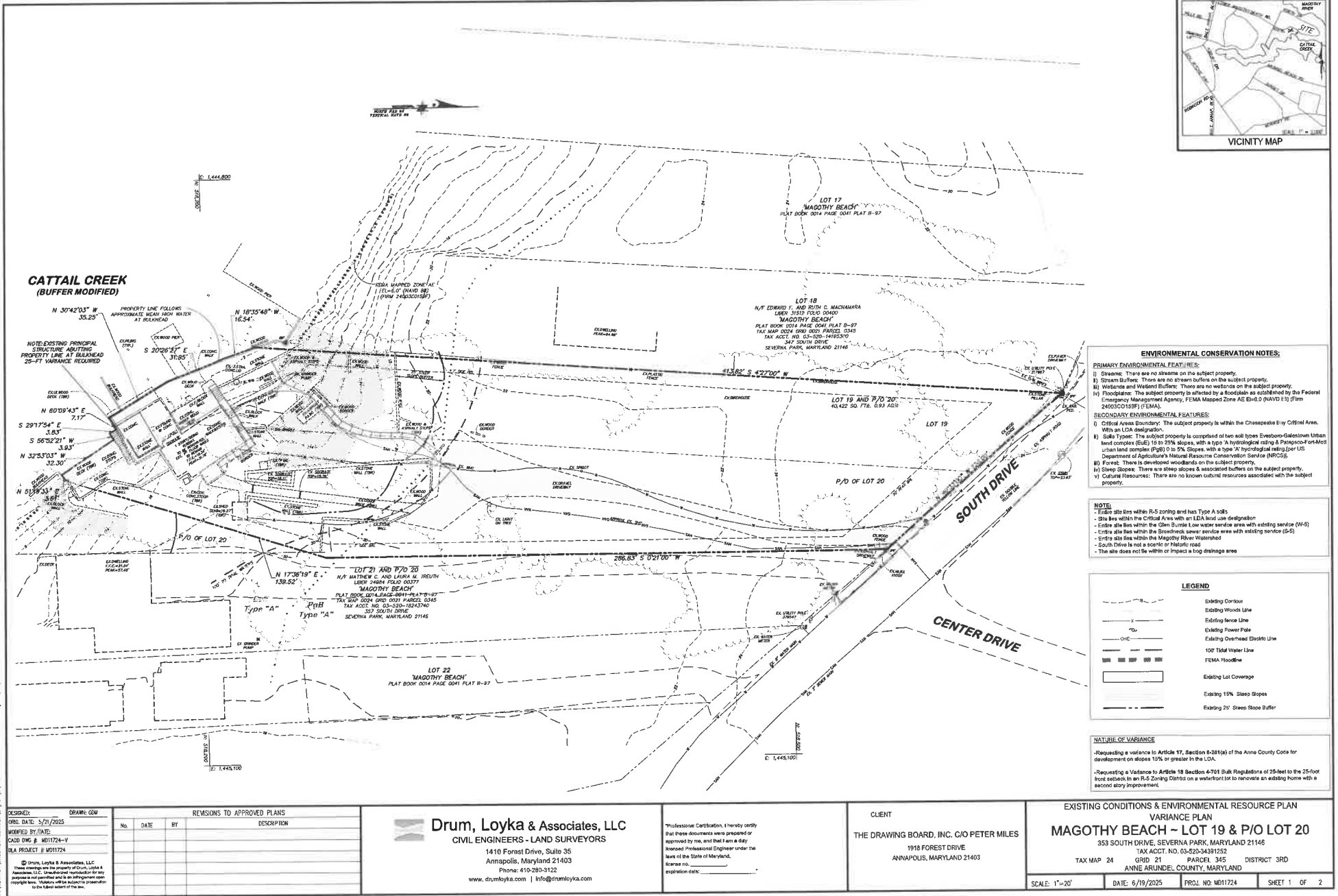
Sincerely,  
**DRUM, LOYKA AND ASSOCIATES, LLC**

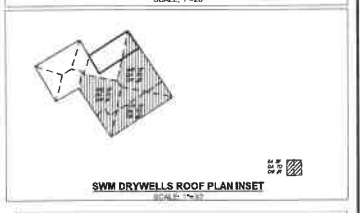
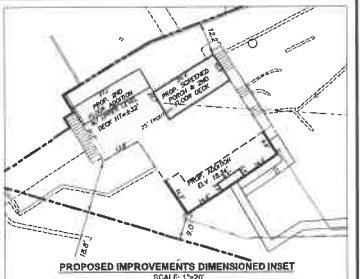
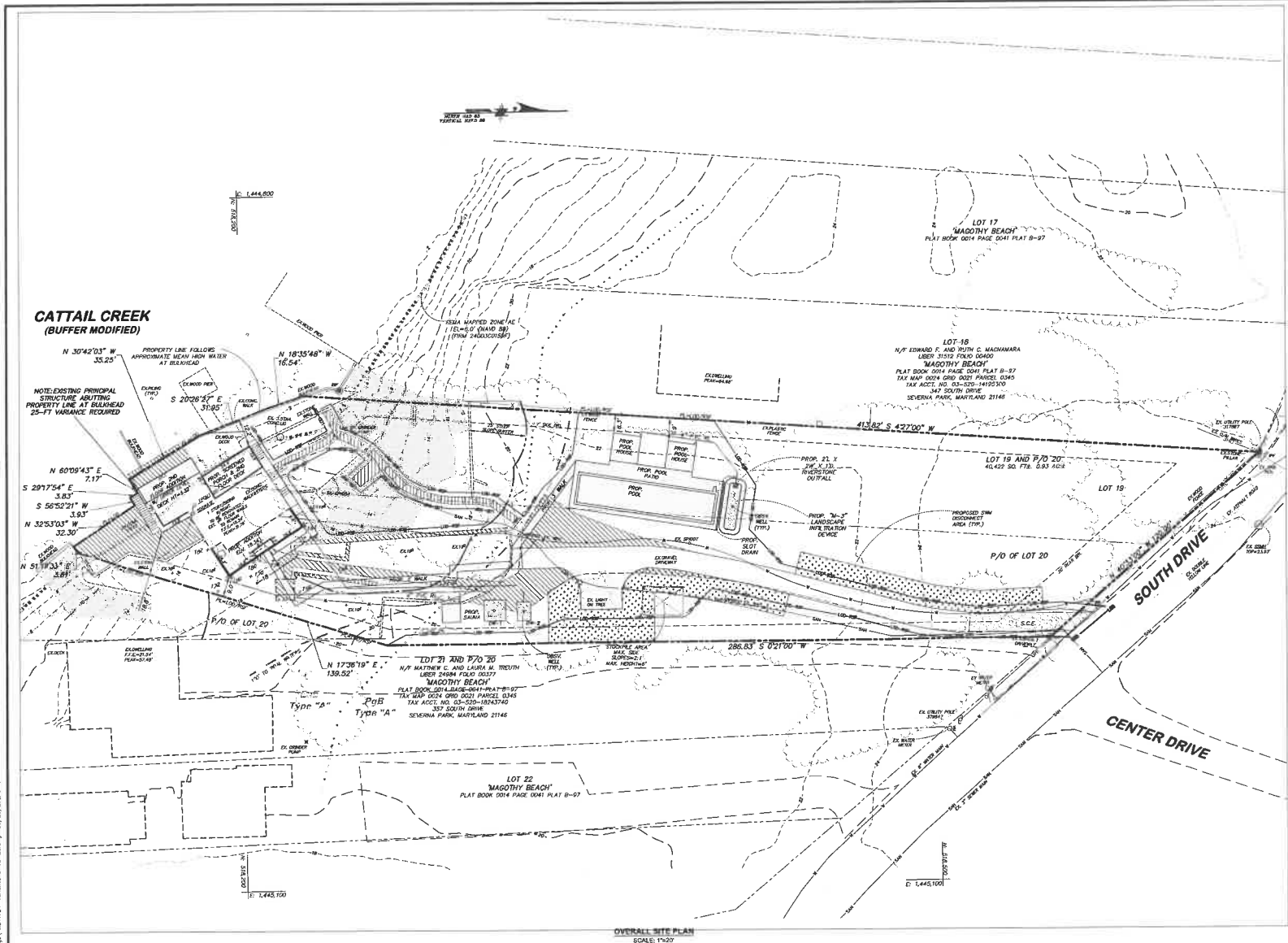


Robert Baxter  
Project Manager

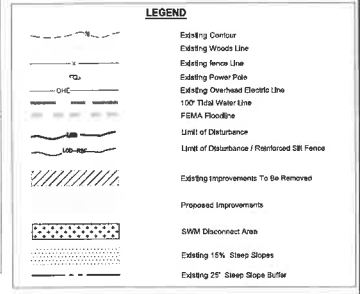
Cc: Dalena Wright  
Peter Miles  
Jennifer Horn  
Grant Mays

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SITE TABULATIONS	
• Total City Area:	40,422 S.F. (0.93 Ac.)
• Public Water & Sewer	
• Critical Area Lot Coverage:	
- Existing Coverage:	7,403 S.F. (0.17 Ac.)
- Existing Driveway:	3,406 S.F. (0.08 Ac.)
- Existing House, Porch & Shed:	1,819 S.F. (0.04 Ac.)
- Existing Steps, Deck & Walk:	1,387 S.F. (0.03 Ac.)
- Existing Walls, Paving & Concrete:	861 S.F. (0.02 Ac.)
- Movable Coverage (17-4-03):	7,321 S.F. (0.17 Ac.)
- Post Development Lot Coverage:	7,321 S.F. (0.17 Ac.)
- Existing Driveway:	2,287 S.F. (0.05 Ac.)
- Existing House & Porch:	1,855 S.F. (0.04 Ac.)
- Existing Steps, Walls & Concrete:	285 S.F. (0.00 Ac.)
- Proposed Addition:	408 S.F. (0.02 Ac.)
- Proposed Pool, Houses, Garage & Patio:	1,787 S.F. (0.04 Ac.)
- Proposed Walk & Landing:	641 S.F. (0.01 Ac.)
- Total Area Of Disturbance:	20,302 S.F. (0.47 Ac.)
• Total 15% Slopes On Site:	2,490 S.F. (0.06 Ac.)
- Total Slopes Disturbed:	327 S.F. (0.01 Ac.)
- Temporary Disturbance:	327 S.F. (0.01 Ac.)
- Permanent Disturbance:	0 S.F. (0.00 Ac.)
• Cattail Creek (Buffer Modified):	
- Proposed New Lot Coverage Outside Buffer:	2,142 S.F. (0.05 Ac.)
- Proposed New Lot Coverage Inside Buffer:	607 S.F. (0.01 Ac.)
• Developed Woodland:	
- Existing Canopy On Site:	30,029 S.F. (0.69 Ac.)
- Allowable Canopy Disturbance (30%):	9,008 S.F. (0.21 Ac.)
- Proposed Canopy Disturbance (42%):	12,474 S.F. (0.29 Ac.)
• Site Zoning: R6	
• JES Setbacks:	Front: 25', Rear: 20', Side: 5'



DESIGNED:	DRAWN:	REVISIONS TO APPROVED PLANS
ORIG. DATE: 5/21/2025		
MODIFIED BY/DATE:		
CADD DWG # MD11724-V		
DATA PROJECT # MD11724		

No.	DATE	BY	DESCRIPTION

**Drum, Loyka & Associates, LLC**  
CIVIL ENGINEERS - LAND SURVEYORS  
1410 Forrest Drive, Suite 35  
Annapolis, Maryland 21403  
Phone: 410-280-3122  
www.drummyka.com | info@drummyka.com

\*Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed Professional Engineer under the laws of the State of Maryland.  
License No. \_\_\_\_\_  
expiration date: \_\_\_\_\_

CLIENT

THE DRAWING BOARD, INC. C/O PETER MILES  
1918 FOREST DRIVE  
ANNAPOLIS, MARYLAND 21403

DEVELOPED CONDITIONS OVERALL SITE PLAN  
VARIANCE PLAN  
**MAGOTHY BEACH ~ LOT 19 & P/O LOT 20**  
353 SOUTH DRIVE, SEVERNA PARK, MARYLAND 21146  
TAX ACCT. NO. 03-020-34391232  
TAX MAP 24 GRID 21 PARCEL 345 DISTRICT 3RD  
ANNE ARUNDEL COUNTY, MARYLAND

SCALE: 1"=20'  
DATE: 6/19/2025  
PROJ. NO. MD11724  
SHEET 2 OF 2

CRITICAL AREA COMMISSION  
FOR THE CHESAPEAKE AND ATLANTIC COASTAL BAYS  
1804 WEST STREET, SUITE 100  
ANNAPOLIS, MD 21401

PROJECT NOTIFICATION APPLICATION

**GENERAL PROJECT INFORMATION**

Jurisdiction: Anne Arundel County Date June 21, 2025

Tax Map #	Parcel #	Block #	Lot #	Section
24	345	21	19/20	-

**FOR RESUBMITTAL ONLY**

Corrections ☐  
Redesign ☐  
No Change ☐  
Non-Critical Area ☐

\* Complete only Page 1  
General Project Information

Tax ID 3-520-34391252

Project Name (site name, subdivision name, or other) Magothy Beach

Project location/Address 353 South Drive

City Severna Park, MD. Zip 21146

Local case number

Applicant: Last name Wright First name Dalena

Company Drum Loyka and Associates, LLC.

**Application Type (check all that apply):**

Building Permit ☒  
Buffer Management Plan ☐  
Conditional Use ☐  
Consistency Report ☐  
Disturbance > 5,000 sq ft ☒  
Grading Permit ☒

Variance ☒  
Rezoning ☐  
Site Plan ☐  
Special Exception ☐  
Subdivision ☐  
Other ☐

**Local Jurisdiction Contact Information:**

Last name:  First name

Phone #  Response from Commission Required By

Fax #  Hearing date

## SPECIFIC PROJECT INFORMATION

Describe Proposed use of project site:

Renovation of an existing structure, landward addition, screened porch, decking, second floor improvement,  
Removal of existing retaining walls and lot coverage within the 100-foot Buffer

Yes  
Intra-Family Transfer ☐ Growth Allocation ☐  
Grandfathered Lot ☐ Buffer Exemption Area ☒

### Project Type (check all that apply)

Commercial ☐ Recreational ☐  
Consistency Report ☐ Redevelopment ☐  
Industrial ☐ Residential ☒  
Institutional ☐ Shore Erosion Control ☐  
Mixed Use ☐ Water-Dependent Facility ☐  
Other ☐

## SITE INVENTORY (Enter acres or square feet)

	Acres	Sq Ft
IDA Area	0	0
LDA Area	0.93	40,419
RCA Area	0	0
Total Disturbed Area	0.93	40,419

Acres Sq Ft  
Total Disturbed Area 0.47 20,302  
# of Lots Created 1

	Acres	Sq Ft		Acres	Sq Ft
Existing Forest/Woodland/Trees	0.69	30,026	Existing Impervious Surface	0.17	7,463
Created Forest/Woodland/Trees			New Impervious Surface	0.07	2,834
Removed Forest/Woodland/Trees	0.29	12,474	Removed Impervious Surface	0.07	2,976
			Total Impervious Surface	0.17	7,321

## VARIANCE INFORMATION (Check all that apply)

	Acres	Sq Ft		Acres	Sq Ft
Buffer Disturbance	0.17	7,200	Buffer Forest Clearing	0.03	1,200
Non-Buffer Disturbance	0.30	13,102	Mitigation	0.08	3,600

### Variance Type

Buffer ☐  
Forest Clearing ☐  
HPA Impact ☐  
Impervious Surface ☐  
Expanded Buffer ☐  
Nontidal Wetlands ☐  
Setback ☒  
Steep Slopes ☒  
Other ☐

### Structure

Acc. Structure Addition ☐  
Barn ☐  
Deck ☐  
Dwelling ☒  
Dwelling Addition ☒  
Garage ☐  
Gazebo ☐  
Patio ☐  
Pool ☐  
Shed ☐  
Other ☐



# **Chesapeake Bay Critical Area Report**

## **Magothy Beach ~ Lot 19 & P/O 20**

Tax Map 24, Grid 21, Parcel 345

Tax Account No. 03-520-34391252

**Property Address:** 353 South Drive  
Severna Park, Maryland 21146

**Property Owner & Variance Applicant:** Dalena Wright

**Critical Area Designation:** LDA   **Zoning:** R-5      **Lot Area:** 0.93 Ac.

### **Site Description**

The subject property is located off South Drive in the Magothy Beach Subdivision. The property is irregular in shape, legal building parcel consisting of approximately 0.93 acres in area and is currently improved with a single-family dwelling which is proposed to remain with additions to both the waterfront side and roadside portions of the home. The property has a zoning designation of R-5. The site is located entirely within the Chesapeake Bay Critical Area with an LDA designation. The existing dwelling abuts the shoreline. The site is currently served by a public water and sewer. There are several hardships and practical difficulties regarding the redevelopment of the subject property. A large portion of the site is within the 100-ft buffer to tidal waters which encumber 14,307 sq. ft. or 35% of the total lot area. Additionally, the steep slopes of 15% or greater cover 2,490 sq. ft. or 6.16% of the total lot area. The unimproved portion of the site is vegetated with numerous hardwood & evergreens trees and understory growth. The site is in a Buffer Modified area.

### **Description and Purpose of Variance Request**

The homeowners propose to construct additions to the existing home, a new walk, pool and associated improvements. The proposed improvements do not encroach any further to the shoreline than the existing dwelling. The site will be served by public sewer and water. Two "M-5" Microscale Drywells & one "M-3" Landscape infiltration area are being proposed to provide the required ESDv. The larger Drywell (#1) will to the north will collect a large portion of rooftop runoff from the dwelling and proposed sauna. The second Drywell will provide treatment for a portion of the dwellings roof area where grades allow. The proposed Landscape Infiltration Area will be utilized to treat the entire pool area, pool house and associated improvements. The proposed improvements are within the size and character of other dwellings in the neighborhood. Due to the 100-ft tidal waters buffer and presence and extent of steep slopes on the property, development isn't possible without disturbing the slopes or buffer. However, disturbance to the steep slopes is proposed strictly for the removal of existing lot coverage within the steep slopes. Therefore, the proposed improvements require variances to **Article 17, Section 8-201(a)** of the Anne Arundel County Code for disturbance and development of slopes 15% or greater in the LDA and requesting a variance to **Article 18 Section 4-701** of the Bulk Regulations of 25-feet to the 25- front setback in an R-5 zoning district.

A pre-filing review was conducted by the Office of Planning and Zoning and comments were issued on June 16, 2025 by Ms. Donnie Dyott and Ms. Kelly Krinetz of Planning and Zoning, and the Critical Area team had three comments. The comments were considered, and the site plan was revised accordingly. A copy of the pre-file comments is included with this submittal.

### **Vegetative Coverage and Clearing**

This property is vegetatively stabilized with developed woodland, including a variety of mature hardwood trees, a creeping ivy groundcover common to the community of Magothy Beach. The existing on-site wooded area totals roughly 30,026 s.f. (0.69 Ac.). Removal of vegetation has been minimized to only that is necessary to construct the proposed improvements. Removal of vegetation onsite for the proposed redevelopment is approximately 12,474 s.f. (0.29 Ac.). Reforestation requirements for this property will be addressed during the grading permit phase of this project in accordance with code requirements.

### **Lot Coverage**

The site currently has 7,463 s.f. (0.17 Ac.) of impervious coverage. The proposed impervious area for this property is 7,321 s.f. (0.17 Ac.), which is a decrease of 142 s.f. from the existing impervious and equal to the allowable s.f. of lot coverage for this site.

### **100-ft Tidal Buffer**

Approximately 14,307 s.f of the subject property falls within the 100-ft tidal waters line, over a third of property is within the buffer. There is proposed disturbance within the 100-ft buffer as part of this redevelopment, a large portion of the proposed improvements have been sited overtop of the existing dwelling to minimize the disturbance to the buffer to construct the additions, stormwater management & associated improvements. While disturbance to the 100-ft tidal waters line is unavoidable, a reduction of 1,208 s.f. of lot coverage within the 100-ft tidal waters line is being proposed as part of this redevelopment.

### **Steep Slopes (slopes > 15%)**

The site has approximately 2,490 s.f of steep slopes and the associated 25-foot buffer covers 3,212 s.f. totaling 5,702 s.f. or 14% of the site area. Approximately 327 s.f. (0.01 Ac.) of the steep slopes 15% or greater shall be disturbed during the proposed construction. Of that disturbance, 0 s.f. of disturbance is proposed permanent disturbance to construct the dwelling and removal of existing lot coverage & associated site improvements. The entire 327 s.f. of disturbance is temporary disturbance is for grading, removal of lot coverage and construction access. Disturbance of these slopes was unavoidable as a large portion of the site is encumbered by them, the proposed improvements have been sited site to minimize the disturbance to the slopes to construct the dwelling, stormwater management, and associated improvements.

### **Predominant Soils**

The predominant soil type is Patapsco-Fort-Mott urban land complex, 0 to 5 percent slopes (PgB). This soil has a type "A" hydrologic classification and is not a hydric soil (soils characteristic of wetlands).

**Drainage and Rainwater Control**

Runoff from the site sheetflows down the steep slopes and ultimately drains to Cattail Creek. The proposed redevelopment addresses stormwater management environmental site design to the maximum extent practicable via (2) "M-5" Microscale drywells & (1) "M-3" Landscape infiltration area areas to treat a large portion of the dwelling, sauna, pool and pool deck.

Stormwater management and sediment and erosion control will be further addressed during the permitting phase of the project in order to meet Anne Arundel County design criteria.

**Conclusions – Variance Standards**

The applicant proposes to construct additions to the existing single family dwelling, screened porch, parking pad, walk, pool and associated improvements. The need for the requested Critical Area Variances arises from the existing unique nature and constraints of this property, specifically the topography, and location of the steep slopes, 100-ft tidal waters line and the irregular shape of the lot. It is not possible to complete this project without disturbance to the steep slopes 15% or greater in the LDA. The proposed improvements are consistent in size and nature with other homes along the waterfront of Cattail Creek and therefore will not alter the essential character of the neighborhood, impair development of adjacent properties, or be detrimental to public welfare. To deny the requested variance would deprive the applicant of rights commonly enjoyed by other properties in the immediate area. With the implementation of mitigation, and sediment and erosion control practices, to be addressed during permitting, the proposed development will not cause adverse impacts to fish, wildlife, or water quality in the Critical Area.

**Reference:**

ADC: The Map People, 2002 Anne Arundel County, Maryland, Street Map Book

Anne Arundel County Office of Planning & Zoning , 2007 Critical Area Map

Anne Arundel County Office of Planning & Zoning, 2007 Buffer Exemption Map

Anne Arundel County, Maryland; Chesapeake Bay Critical Area Mapping Program, 2007, Critical Area Map

Federal Emergency Management Agency , 2016. Flood Insurance Rate Map

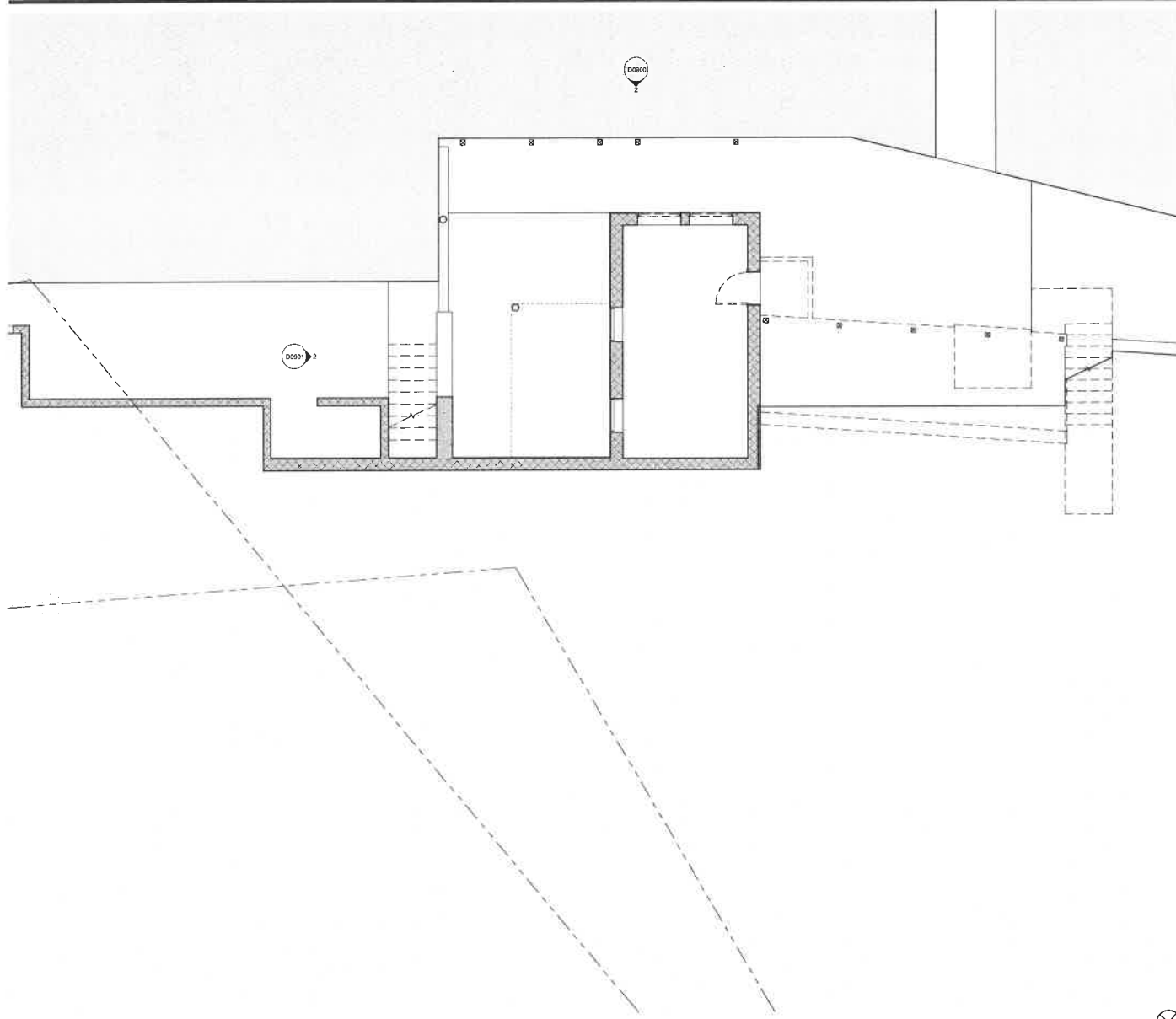
First American Real Estate Solutions, 2002, Realty Atlas: Anne Arundel County Maryland

Drum, Loyka and Associates LLC, 2025 Variance Plan

U.S. Department of Agriculture, Natural Resource Conservation Service –2016 Soil Survey of Anne Arundel County Maryland.

State Highway Administration of Maryland, 1989. Generalized Comprehensive Zoning Map: Third Assessment District

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© 2024 THE DRAWING BOARD, INC.



### GENERAL NOTES

- GC TO COORDINATE WITH NEW WORK SCHEDULE FOR FULL EXTENT OF REQUIRED DEMOLITION & FRAMING ADDITIONS.
- GC SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO EXECUTION OF THE WORK. CLARIFICATIONS REGARDING ANY PERMITTED CONFLICTS SHALL BE RECEIVED BY THE ARCHITECT PRIOR TO COMMENCEMENT OF AFFECTED WORK.
- GC TO PROTECT ALL EXISTING CONSTRUCTION SCHEDULED TO REMAIN & PROVIDE TEMPORARY BRACING AS REQUIRED TO PROTECT ADJACENT AREAS FROM CONSTRUCTION DUST, DEBRIS, OR DAMAGE.
- ALL WORK TO BE DONE IN ACCORDANCE WITH ALL OSHA & OTHER SAFETY STANDARDS.
- ALTHOUGH THE DRAWINGS ARE GENERALLY TO SCALE, THE DRAWINGS SHALL BE CONSIDERED DIAGNOMATIC. ALL IMPORTANT DIMENSIONS SHALL BE VERIFIED AND COORDINATED TO ACHIEVE THE DESIGN INTENT.
- ALL DIMENSIONS & ALIGNMENT NOTATIONS SUCH AS FROM FINISH FACES OF CONSTRUCTION, UNO, ALIGNMENT OF DOOR HEADS & OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT CONSTANT LEVEL RELATIVE TO THE CEILING PLANE & SHALL NOT FOLLOW VARIATIONS IN FLOOR PLANE.
- ALL MATERIALS AND FINISHES SHALL BE INSTALLED PER MANUFACTURER RECOMMENDATIONS, INCLUDING SUBSTRATE PREPARATION, ADHESIVES, SEALANTS, FLASHINGS AND FASTENERS. NOTIFY ARCHITECT OF CONFLICTS.
- ALL RUBBISH AND DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED PROPERLY AT A LEGAL WASTE FACILITY. BURNING OF DEBRIS ON SITE IS NOT ALLOWED.
- ALL EXTERIOR OPENINGS FOR DOORS & WINDOWS TO BE FULLY FLASHED AT THE HEAD, JAMB & SILL IN A MANNER COMPATIBLE WITH CLADDING SYSTEM. PROVIDE SELF-FLASHING FLASHING MEMBRANE, METAL SILL PANS, WEPPS & SEALANT AS APPLICABLE. ALL WATERPROOFING METHODS TO BE REVIEWED WITH ARCHITECT PRIOR TO INSTALLATION OF OPENING UNITS.
- GC SHALL INSTALL SOLID WOOD BLOCKING AS REQUIRED BEHIND ALL WALL MUD SHIELDS, CABINET'S, DEVICES AND EQUIPMENT. PROVIDE ADDITIONAL STUD FRAMING AS REQUIRED TO ACHIEVE FIXTURE PLACEMENT AS SHOWN & GROUP ELECTRICAL DEVICES AS SHOWN. PROVIDE CONTINUOUS FIRE BLOCKING AT WALLS AS REQUIRED BY CODE.
- INTERIOR GYP SO SHALL BE 1/2" AT WALLS AND 1/2" NON SAC GYP BD AT ALL CEILINGS, UNO, LEVEL 5 FINISH TYP. PROVIDE MOISTURE RESISTANT GYP SO AT AREAS EXPOSED TO MOISTURE INCLUDING KITCHEN BACKSPLASH, BATHROOMS (ALL SURFACES), MUD ROOM AND ALL BASEMENT AREAS. UNO, GARAGE SHALL RECEIVE MOISTURE RESISTANT 1/2" TYP. X GYP BD AT ALL WALLS & CEILING, TYP (WALL TYPE 1A).
- UNO, INTERIOR NON-LOAD BEARING WALLS SHALL BE 2X4 @ 16" OC CONSTRUCTION (WALL TYPE 3B). UNO, ALL EXTERIOR WALLS AND INTERIOR LOAD-BEARING WALLS SHALL BE 2X6 @ 16" OC CONSTRUCTION. PROVIDE FIELD LAYOUT OF WALLS FOR ARCHITECT REVIEW PRIOR TO INSTALL. REFER TO STRUCT DWG FOR MORE INFO.

### SHEET NOTES

	EXISTING PARTITION / WALL TO REMAIN
	EXISTING CONSTRUCTION TO BE DEMOLISHED OR MODIFIED AS NOTED
	NEW FRAMED PARTITION / WALL REFERENCE TO WALL TYPE
	NEW CAST-IN-PLACE CONCRETE WALL REFERENCE TO WALL TYPE
	NEW MASONRY WALL REFERENCE TO WALL TYPE



### 1 WALL LEGEND

GROUND FLOOR PLAN - EXISTING / DEMO  
SCALE: 1/4" = 1'-0"

**Professional Certification:**  
I, Peter J. Mann, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Architect under the laws of Maryland.

License No. 22104 Exp. Date: 09/02/2025

Architect

**the drawing board, inc.**  
architecture

PO Box 2485  
Annapolis, Maryland 21403  
A LICENSED FIRM UNDER THE PROFESSIONAL SEAL OF THE STATE OF MARYLAND

Structural Engineer

**WRIGHT RESIDENCE**

RENOVATION & ADDITION

353 SOUTH DRIVE  
SEVERNA PARK, MARYLAND

Drawing Revisions

Issue	Date & Description	By
01	XXXX/2024 OWNER REVIEW	JRB

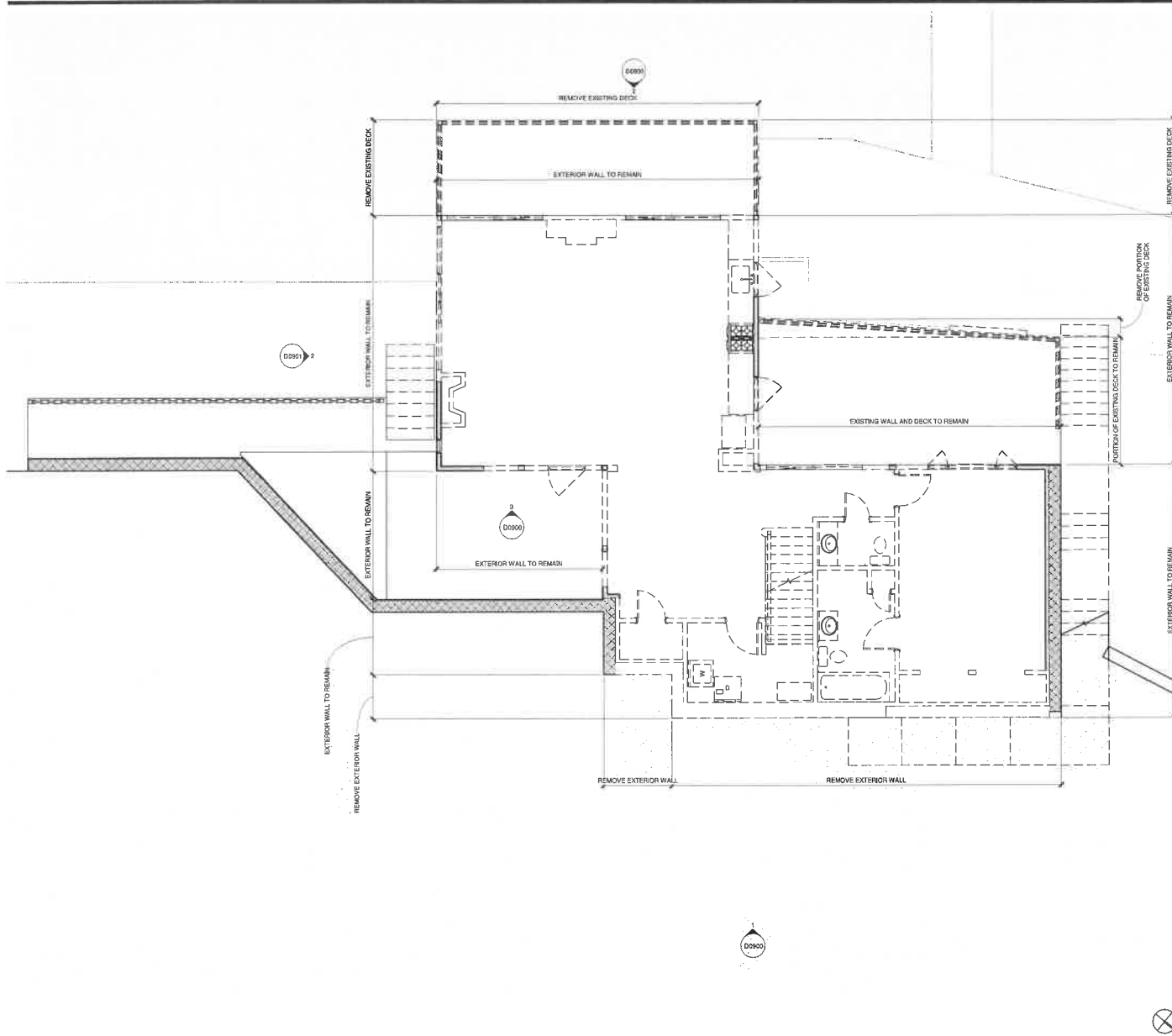
Description

GROUND FLOOR PLAN - EXISTING / DEMO

Scale  
As Indicated

0' 2' 4' 8'

**D0100**



### GENERAL NOTES

- GO TO COORDINATE WITH NEW WORK SCOPE FOR FULL EXTENT OF REQUIRED DEMOLITION & FRAMING ADDITIONS.
- GO SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO EXECUTION OF THE WORK. CLARIFICATIONS REGARDING ANY PERCEIVED CONFLICTS SHALL BE RECEIVED BY THE ARCHITECT PRIOR TO COMMENCEMENT OF AFFECTED WORK.
- GO TO PROTECT ALL EXISTING CONSTRUCTION SCHEDULED TO REMAIN & PROVIDE TEMPORARY BARRIERS AS REQUIRED TO PROTECT ADJACENT AREAS FROM CONSTRUCTION DUST, DEBRIS, OR DAMAGE. ALL WORK TO BE DONE IN ACCORDANCE WITH ALL OSHA & OTHER SAFETY STANDARDS.
- ALTHOUGH THE DRAWINGS ARE GENERALLY TO SCALE, THE DRAWINGS SHALL BE CONSIDERED DIAGRAMMATIC. ALL IMPORTANT DIMENSIONS SHALL BE VERIFIED AND COORDINATED TO ACHIEVE THE DESIGN INTENT.
- ALL DIMENSIONS & ALIGNMENT NOTATIONS SHOWN ARE FROM FINISH FACES OF CONSTRUCTION, UNLESS OTHERWISE NOTED. HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT CONSTANT LEVEL RELATIVE TO THE CEILING PLANE & SHALL NOT FOLLOW VARIATIONS IN FLOOR PLANE.
- ALL MATERIALS AND FINISHES SHALL BE INSTALLED PER MANUFACTURER RECOMMENDATIONS INCLUDING SUBSTRATE PREPARATION, ADHESIVES, SEALANTS, FLASHINGS AND FASTENERS. NOTIFY ARCHITECT OF CONFLICTS.
- ALL RUBBER AND DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED PROPERLY AT A LEGAL WASTE FACILITY. BURNING OF DEBRIS ON SITE IS NOT ALLOWED.
- ALL EXTERIOR OPENINGS FOR DOORS AND WINDOWS TO BE FULLY FLASHED AT THE HEAD, JAMB & SILL IN A MANNER COMPATIBLE WITH CLADDING SYSTEM. PROVIDE SELF-ADHERING FLASHING MEMBRANE, METAL SILL PANS, WEEPS & SEALANT AS APPLICABLE. ALL WATERPROOFING METHODS TO BE REVIEWED WITH ARCHITECT PRIOR TO INSTALLATION OF OPENING UNITS.
- GO SHALL INSTALL SOLID WOOD BLOCKING AS REQUIRED BEHIND ALL WALL MOUNTED SHELVES, CABINETS, DEVICES AND EQUIPMENT. PROVIDE ADDITIONAL STUD FRAMING AS REQUIRED TO ACHIEVE FUTURE PLACEMENT AS SHOWN & GROUP ELECTRICAL DEVICES AS SHOWN. PROVIDE CONTINUOUS FIRE BLOCKING AT WALLS AS REQUIRED BY CODE.
- INTERIOR GYP BD SHALL BE 1/2" AT WALLS AND 1/2" NON SAG GYP BD AT ALL CEILINGS, UNLESS FINISH TYP. PROVIDE MOISTURE RESISTANT GYP BD AT AREAS EXPOSED TO MOISTURE INCLUDING KITCHEN BACKSPLASH, BATHROOMS (ALL SURFACES), MUD ROOM AND ALL BASEMENT AREAS, UNLESS GARAGE SHALL RECEIVE MOISTURE RESISTANT 1/2" TYPE 'X' GYP BD AT ALL WALLS & CEILING, TYP (WALL TYPE 1A).
- UNLESS OTHERWISE NOTED, INTERIOR NON-LOAD-BEARING WALLS SHALL BE 2X4 @ 16" OC CONSTRUCTION (WALL TYPE 3B). UNLESS OTHERWISE NOTED, EXTERIOR WALLS AND INTERIOR LOAD-BEARING WALLS SHALL BE 2X6 @ 16" OC CONSTRUCTION. PROVIDE FIELD LAYOUT OF WALLS FOR ARCHITECT REVIEW PRIOR TO INSTALL. REFER TO STRUCT QWG FOR MORE INFO.

### SHEET NOTES

EXISTING PARTITION / WALL TO REMAIN
EXISTING CONSTRUCTION TO BE DEMOLISHED OR MODIFIED AS NOTED
NEW FRAMED PARTITION / WALL REFERENCE TO WALL TYPE
NEW CAST-IN-PLACE CONCRETE WALL REFERENCE TO WALL TYPE
NEW MASONRY WALL REFERENCE TO WALL TYPE



1 WALL LEGEND

**NOT FOR CONSTRUCTION**

Professional Certification:  
I, Peter J. Miley, hereby certify that these documents were prepared by or under my direct supervision and that I am a duly licensed professional Architect under the laws of Maryland.  
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Structural Engineer

**WRIGHT RESIDENCE**

RENOVATION & ADDITION

353 SOUTH DRIVE  
SEVERNA PARK, MARYLAND

Drawing Revisions			
Issue	Date & Description	By	
01	30/03/2024	JTB	OWNER REVIEW

Description

FIRST FLOOR PLAN - EXISTING / DEMO

Scale  
As Indicated

0' 2' 4' 8'

**D0101**



## GENERAL NOTES

- GC TO COORDINATE WITH NEW WORK SCOPE FOR FULL EXTENT OF REQUIRED DEMOLITION & FRAMING ADDITIONS.
- GC SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO EXECUTION OF THE WORK. CLARIFICATIONS REGARDING ANY PERCEIVED CONFLICTS SHALL BE RECEIVED BY THE ARCHITECT PRIOR TO COMMENCEMENT OF AFFECTED WORK.
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- ALL DIMENSIONS & ALIGNMENT NOTATIONS SHOWN ARE FROM FINISH FACES OF CONSTRUCTION UNO. ALIGNMENT OF DOOR HEADS & OTHER CRITICAL HORIZONTAL ELEMENTS SHALL BE MAINTAINED AT CONSTANT LEVEL, RELATIVE TO THE CEILING PLANE & SHALL NOT FOLLOW VARIATIONS IN FLOOR PLANE.
- ALL MATERIALS AND FINISHES SHALL BE INSTALLED PER MANUFACTURE RECOMMENDATIONS, INCLUDING SUBSTRATE PREPARATION, ADHESIVES, SEALANTS, FLASHINGS AND FASTENERS. NOTIFY ARCHITECT OF CONFLICTS.
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- ALL EXTERIOR OPENINGS FOR DOORS & WINDOWS TO BE FULLY FLASHE AT THE HEAD, JAMB & SILL IN A MANNER COMPATIBLE WITH CLADDING SYSTEM. PROVIDE SELF-ADHERING FLASHING MEMBRANE, METAL BILL PANEL, WEATHER & SEALANT AS APPLICABLE. ALL WATERPROOFING METHODS TO BE REVIEWED WITH ARCHITECT PRIOR TO INSTALLATION OF OPENING UNITS.
- GC SHALL INSTALL SOLID WOOD BLOCKING AS REQUIRED BEHIND ALL WALL NUDGE SHELVES, CABINETS, DEVICES AND EQUIPMENT. PROVIDE ADDITIONAL STUD FRAMING AS REQUIRED TO ACHIEVE PROPER PLACEMENT AS SHOWN & GROUP ELECTRICAL DEVICES AS SHOWN. PROVIDE CONTINUOUS FIRE BLOCKING AT WALLS AS REQUIRED BY CODE.
- INTERIOR GYP BD SHALL BE 1/2" AT WALLS AND 1/4" NON SAG GYP BD AT ALL CEILING, UNO. LEVELS FINISH TYP. PROVIDE MOISTURE RESISTANT GYP BD AT AREAS EXPOSED TO MOISTURE INCLUDING KITCHEN BACKSPLASH, BATHROOMS (ALL SURFACES), MUD ROOM AND ALL BASEMENT AREAS. UNO. GARAGE SHALL RECEIVE MOISTURE RESISTANT 1/2" TYPE "X" GYP BD AT ALL WALLS & CEILING. TYP (WALL TYPE 1A).
- UNO. INTERIOR NON-LOAD BEARING WALLS SHALL BE 2X4 @ 16" OC CONSTRUCTION (WALL TYPE 3B). UNO. ALL EXTERIOR WALLS AND INTERIOR LOAD-BEARING WALLS SHALL BE 2X6 @ 16" OC CONSTRUCTION. PROVIDE FIELD LAYOUT OF WALLS FOR ARCHITECT REVIEW PRIOR TO INSTALL. REFER TO STRUCT DWS FOR MORE INFO.

Professional Certification  
I, Peter J. Mink, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Architect under the laws of Maryland.  
License No. 22154 Exp. Date: 09/02/2023

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architecture

PO Box 3452  
Annapolis, Maryland 21403  
A-002357721 (Professional Seal)  
2-002-171-0000 (Office Phone)

Structural Engineer

## 1 SHEET NOTES

### WRIGHT RESIDENCE

RENOVATION & ADDITION

353 SOUTH DRIVE  
SEVERNA PARK, MARYLAND

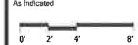
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Issue	Date & Description	By
01	XX022024 OWNER REVIEW	JRS

#### Description

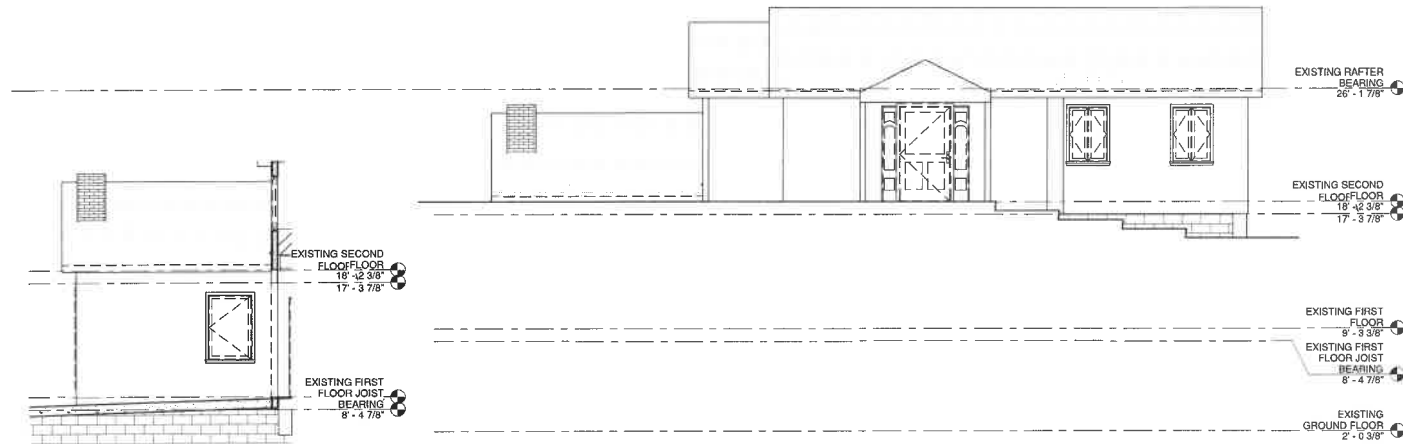
EXTERIOR ELEVATIONS - EXISTING / DEMO

Scale  
As Indicated



D0900

2

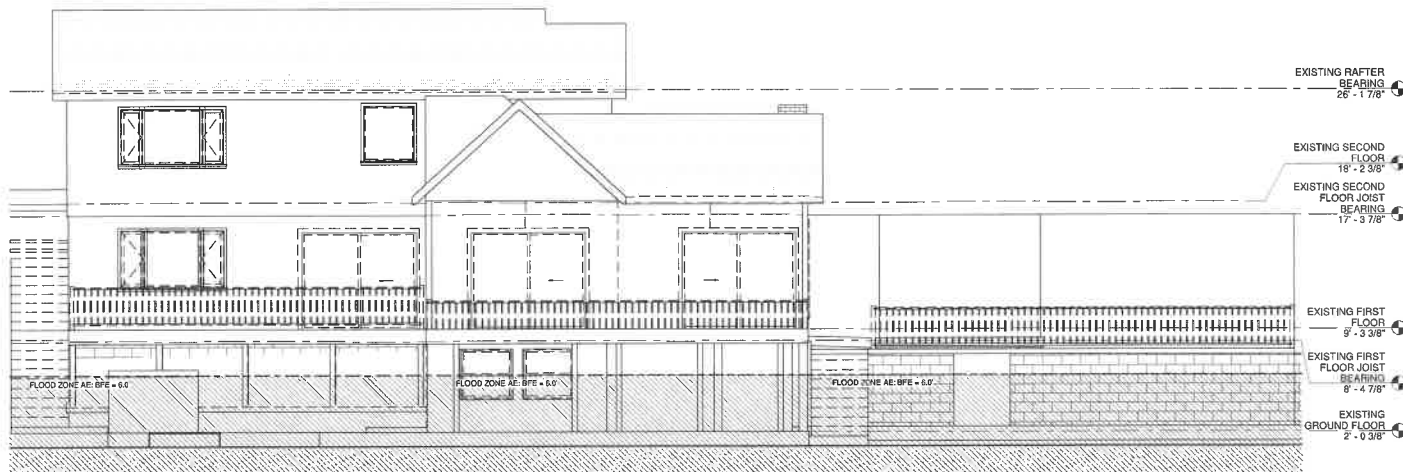


PARTIAL FRNT ELEV - EXIST / DEMO 3

SCALE: 1/4" = 1'-0"

## FRONT ELEVATION - EXISTING / DEMO

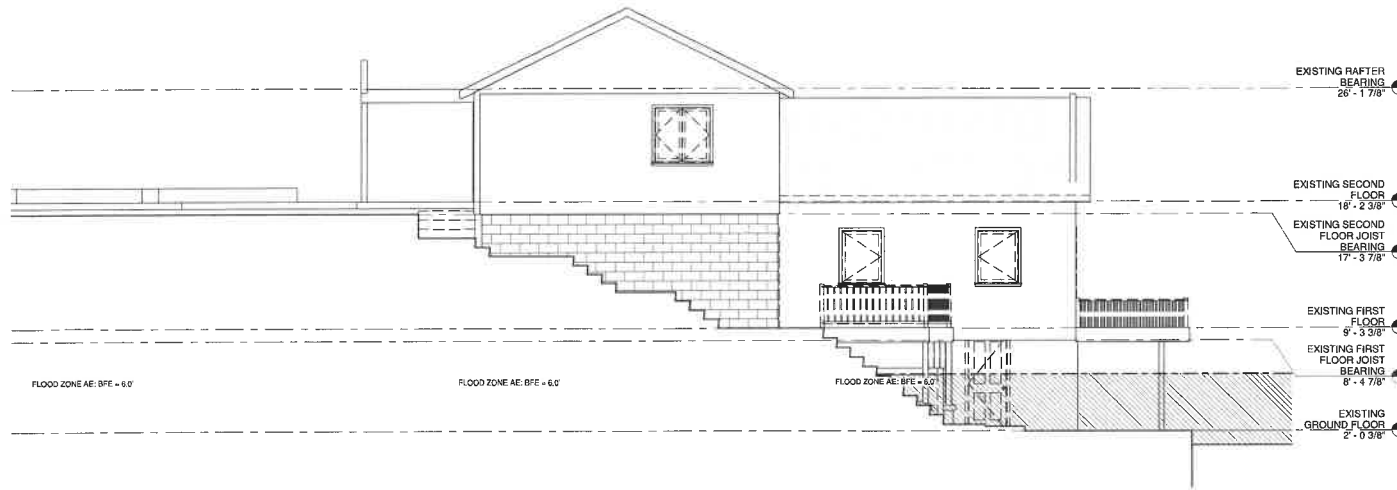
SCALE: 1/4" = 1'-0"



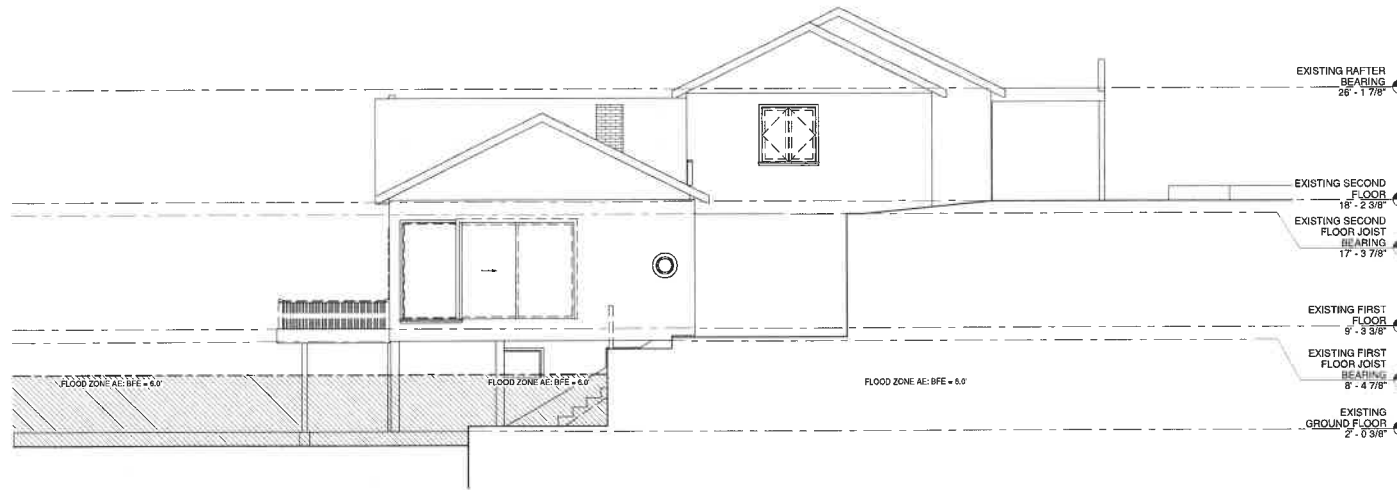
REAR ELEVATION - EXISTING / DEMO

SCALE: 1/4" = 1'-0"





RIGHT SIDE ELEVATION - EXISTING / DEMO  
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION - EXISTING / DEMO  
SCALE: 1/4" = 1'-0"

## GENERAL NOTES

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- INTERIOR CIP-80 SHALL BE 1/2" AT WALLS AND 1/2" NON SAG GYP BD AT ALL CEILING, UNLESS FINISH TYP. PROVIDE MOISTURE RESISTANT GYP BD AT AREAS EXPOSED TO MOISTURE INCLUDING KITCHEN BACKSPLASH, BATHROOMS (ALL SURFACES), MUD ROOM AND ALL BASEMENT AREAS. UNO, GARAGE SHALL RECEIVE MOISTURE RESISTANT 1/2" TYP. 5' OFF BD AT ALL WALLS & CEILING, TYP (WALL TYPE 1A).
- UNO, INTERIOR NON-LOAD BEARING WALLS SHALL BE 2X4 @ 16" OC CONSTRUCTION (WALL TYPE 3B). UNO, ALL EXTERIOR WALLS AND INTERIOR LOAD-BEARING WALLS SHALL BE 2X6 @ 16" OC CONSTRUCTION. PROVIDE FIELD LAYOUT OF WALLS FOR ARCHITECT REVIEW PRIOR TO INSTALL. REFER TO STRUCT DWG FOR MORE INFO.

## 1 SHEET NOTES

## 2

NOT FOR CONSTRUCTION

Professional Certification:  
I, Peter J. Miles, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Architect under the laws of Maryland.

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410.261.7573 [www.drawingboardinc.com](http://www.drawingboardinc.com)

Structural Engineer

---

WRIGHT  
RESIDENCE

RENOVATION & ADDITION

353 SOUTH DRIVE  
SEVERNA PARK, MARYLAND

---

Creating Revisions

Issue	Date & Description	By
01	XXXX/XXXX	JRB
OWNER REVIEW		

---

Description

EXTERIOR ELEVATIONS - EXISTING / DEMO

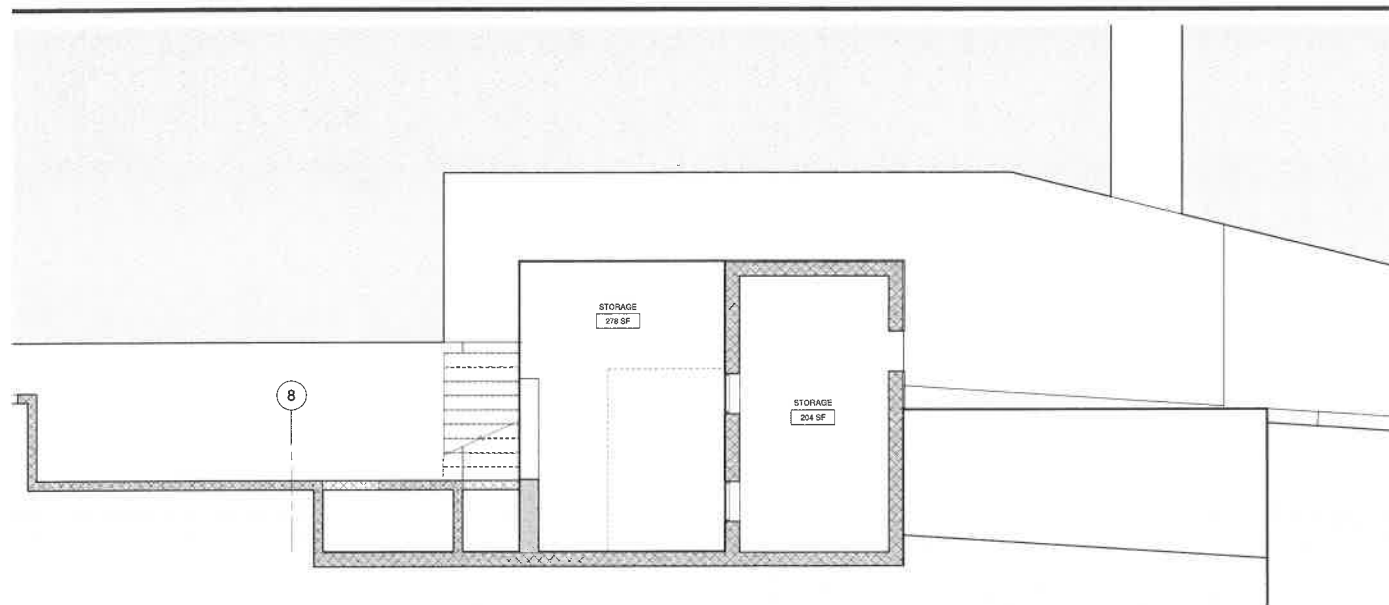
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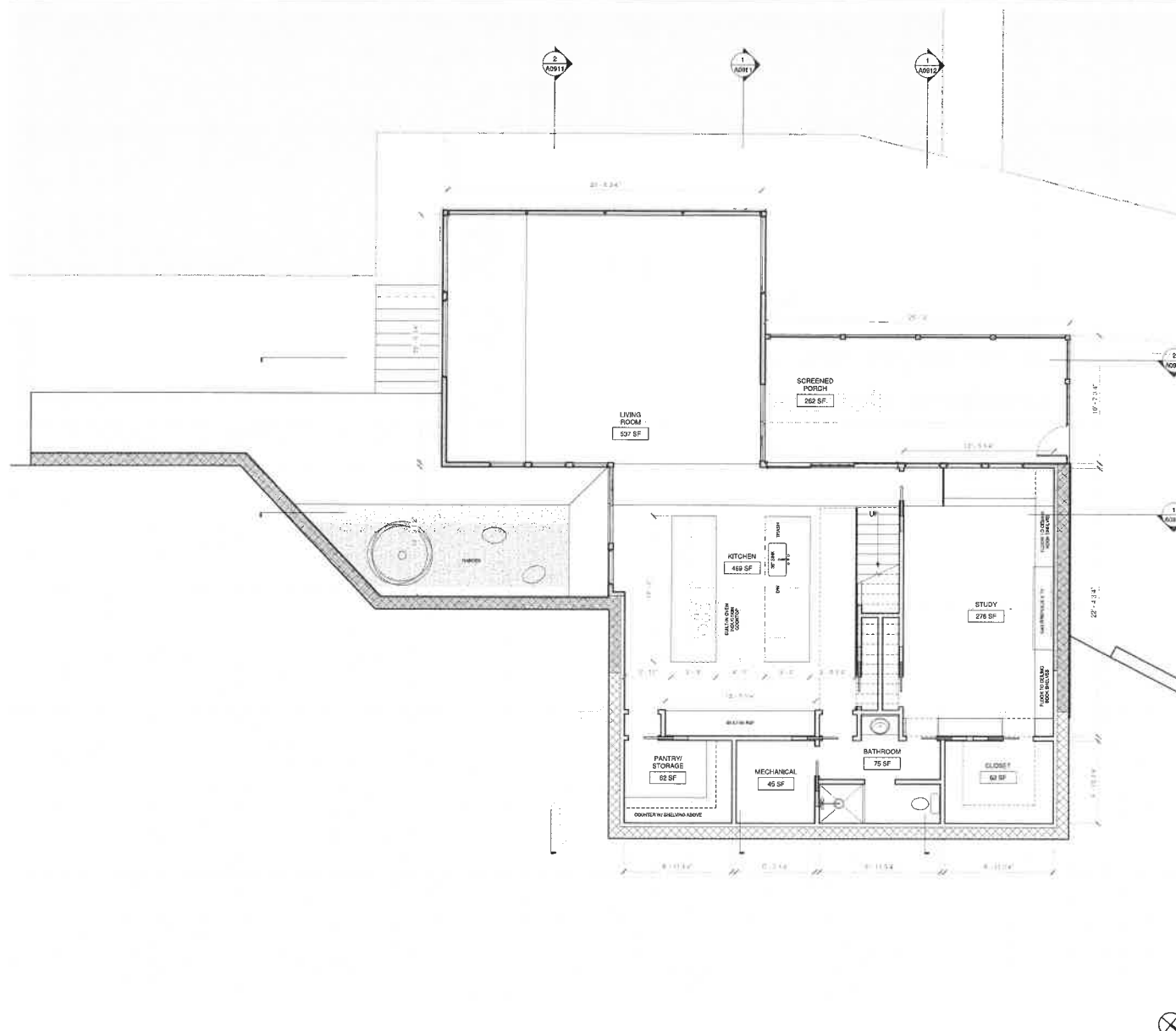
Scale  
As Indicated

0' 2' 4' 6'

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D0901





FIRST FLOOR PLAN - NEW WORK / CONSTRUCTION

SCALE: 1/4" = 1'-0"

## GENERAL NOTES

- GC TO COORDINATE WITH NEW WORK SCOPE FOR FULL EXTENT OF REQUIRED DEMOLITION & FRAMING ADDITIONS.
- GC SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO EXECUTION OF THE WORK. CLARIFICATIONS REGARDING ANY PERCEIVED CONFLICTS SHALL BE RECEIVED BY THE ARCHITECT PRIOR TO COMMENCEMENT OF AFFECTED WORK.
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- GC SHALL INSTALL SOLID WOOD BLOCKING AS REQUIRED BEHIND ALL WALL HUNG SHELVES, CABINETS, DEVICES AND EQUIPMENT. PROVIDE ADDITIONAL STUD FRAMING AS REQUIRED TO ACHIEVE FUTURE PLACEMENT AS SHOWN & GROUP ELECTRICAL DEVICES AS SHOWN. PROVIDE CONTINUOUS FIRE BLOCKING AT WALLS AS REQUIRED BY CODE.
- INTERIOR GYP RD SHALL BE 1/2" AT WALLS AND 1/2" NON SAG GYP RD AT ALL CEILINGS, UNLESS NOTED OTHERWISE. PROVIDE MOISTURE RESISTANT GYP RD AT AREAS EXPOSED TO MOISTURE INCLUDING KITCHEN BACKSPLASH, BATHROOMS (ALL SURFACES), MUD ROOM AND ALL BASEMENT AREAS. UNLESS NOTED OTHERWISE, RECEIVE MOISTURE RESISTANT 1/2" TYPE 'X' GYP RD AT ALL WALLS & CEILING, TYP WALL TYPE 'AL'.
- UNLESS NOTED OTHERWISE, INTERIOR NON-LOAD BEARING WALLS SHALL BE 2X4 @ 16" OC CONSTRUCTION WALL TYPE 3B). UNLESS NOTED OTHERWISE, EXTERIOR NON-LOAD BEARING WALLS SHALL BE 2X6 @ 16" OC CONSTRUCTION. PROVIDE FIELD LAYOUT OF WALLS FOR ARCHITECT REVIEW PRIOR TO INSTALL. REFER TO STRUCT DWG FOR MORE INFO.

## SHEET NOTES

- EXISTING PARTITION / WALL TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED OR MODIFIED AS NOTED
- NEW FRAMED PARTITION / WALL REFERENCE TO WALL TYPE
- NEW CAST-IN-PLACE CONCRETE WALL REFERENCE TO WALL TYPE
- NEW MASONRY WALL REFERENCE TO WALL TYPE



1

WALL LEGEND

**Professional Certification**  
I, Peter J. Miller, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of Maryland.  
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**the drawing board, inc.**  
architecture  
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Annapolis, Maryland 21403  
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Structural Engineer

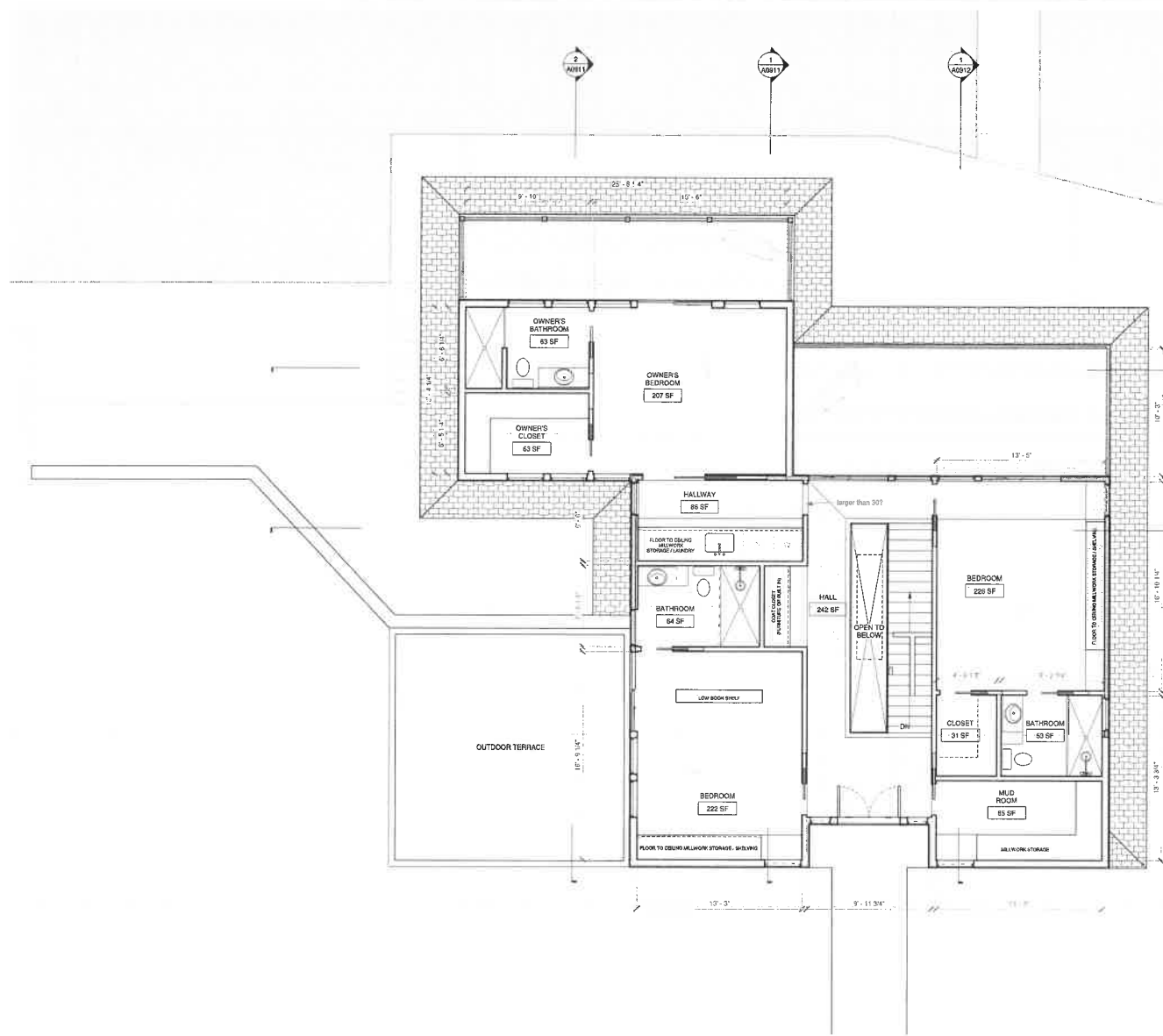
**WRIGHT RESIDENCE**  
RENOVATION & ADDITION  
353 SOUTH DRIVE  
SEVERNA PARK, MARYLAND

Drawing Revisions		
Issue	Date & Description	By
01	2025/02/04 OWNER REVIEW	JTB

Description  
FIRST FLOOR PLAN - NEW WORK / CONSTRUCTION

Scale  
As Indicated  
0' 2' 4' 8'

A0201



SECOND FLOOR PLAN - NEW WORK / CONSTRUCTION

SCALE: 1/4" = 1'-0"

## GENERAL NOTES

- GO TO COORDINATE WITH NEW WORK SCOPE FOR FULL EXTENT OF REQUIRED DEMOLITION & FRAMING ADDITIONS.
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- ALL MATERIALS AND FINISHES SHALL BE INSTALLED PER MANUFACTURE RECOMMENDATIONS, INCLUDING SUBSTRATE PREPARATION, ADHESIVES, SEALANTS, FLASHINGS AND FASTENERS. NOTIFY ARCHITECT OF CONFLICTS.
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## SHEET NOTES

- EXISTING PARTITION / WALL TO REMAIN  
EXISTING CONSTRUCTION TO BE DEMOLISHED OR MODIFIED AS NOTED  
NEW FRAMED PARTITION / WALL  
REFERENCE TO WALL TYPE  
NEW CAST-IN-PLACE CONCRETE WALL  
REFERENCE TO WALL TYPE  
NEW MASONRY WALL  
REFERENCE TO WALL TYPE



1 WALL LEGEND

Professional Certification:  
I, Peter J. Miller, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of Maryland.  
License No. 22104 Exp. Date: 09/02/2025  
Architect  
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architecture  
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Annapolis, Maryland 21403  
410.393.0775 (the drawing board, inc.)  
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Structural Engineer

**WRIGHT RESIDENCE**  
RENOVATION & ADDITION  
353 SOUTH DRIVE  
SEVERNA PARK, MARYLAND

Drawing Revisions		
Issue	Date & Description	By
01	20/05/2024 OWNER REVIEW	JRS

Description  
SECOND FLOOR PLAN - NEW WORK / CONSTRUCTION

Scale  
As Indicated  
0' 2' 4' 8'

A0202

8

— LINE OF WALL BELOW

— LINE OF WALL BELOW

### GENERAL NOTES

- [illegible]

## SHEET NOTES

- REPAIR, CLEAN, AND STAIN EXISTING GROUT TO MATCH TILE. CONFIRM COLOR WITH OWNER PRIOR TO WORK.
- REPAIR FAN.
- INSTALL WOOD TRANSITION STRIP AT DOORWAY.
- HANG TOWEL HOOKS. CONFIRM LOCATION WITH OWNER PRIOR TO INSTALLATION.
- REPAIR WALL BASE AND GYP BOARD BEHIND SINK AND INSTALL ESCUTCHEON AROUND PIPING.
- REPAIR TOILET FLIT VALVE.
- REPAIR FLOOR TILE, AS NECESSARY, FROM REMOVAL OF RADIATOR.



### WALL LEGEND

**Professional Certification**  
I, Peter J. Mann, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Architect under the laws of Maryland.

License No. 22104 Exp. Date: 08/02/2026

**Architect**

**the drawing board, inc.**  
architecture


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**Structural Engineer**

WRIGHT  
RESIDENCE

RENOVATION &amp; ADDITION

353 SOUTH DRIVE  
SEVERNA PARK, MARYLAND

Drawing Revisions			
	Issue	Date & Description	By
1	01	XXXX/2024	JRB
OWNER REVIEW			

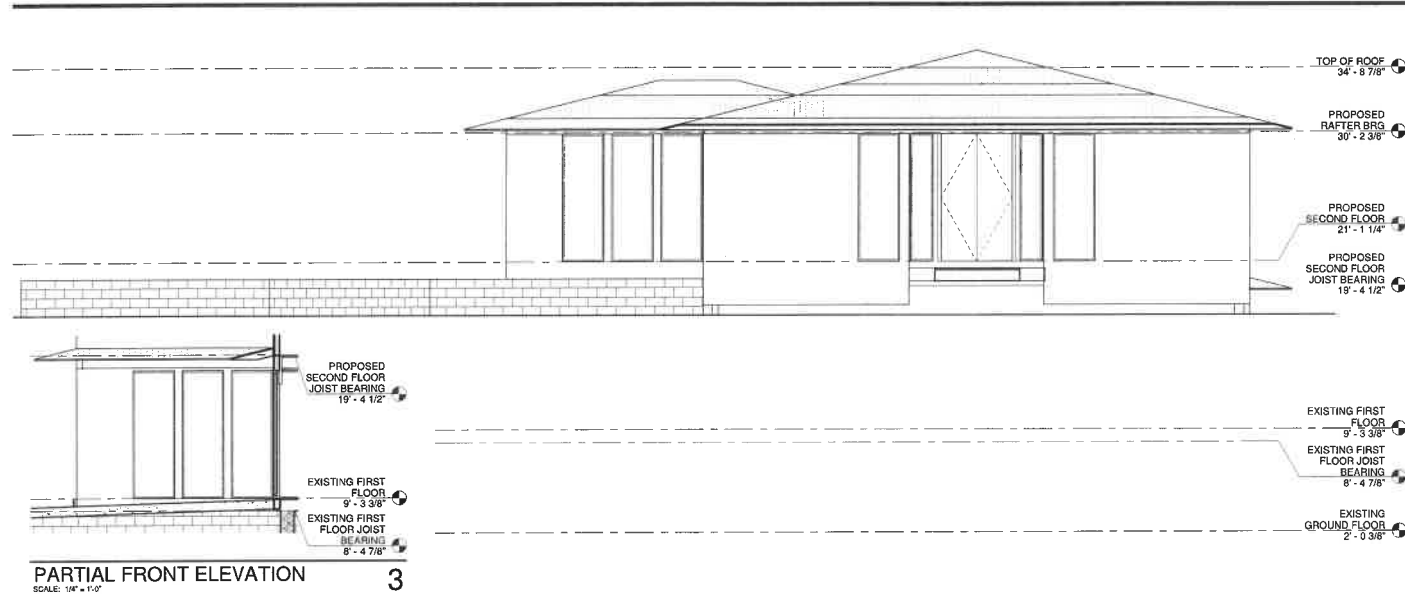
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ROOF PLAN - NEW WORK /  
CONSTRUCTION

Scale  
As Indicated

0 2 4 8

A0203



FRONT ELEVATION - NEW WORK / CONSTRUCTION  
SCALE: 1/4" = 1'-0"



REAR ELEVATION NEW WORK / CONSTRUCTION  
SCALE: 1/4" = 1'-0"

## GENERAL NOTES

- GC TO COORDINATE WITH NEW WORK SCOPE FOR FULL EXTENT OF REQUIRED DEMOLITION.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS PRIOR TO EXECUTION OF THE WORK.
- TO PROTECT ALL EXISTING CONSTRUCTION SCHEDULED TO REMAIN AND PROVIDE TEMPORARY BARRIERS AS REQUIRED TO PROTECT ADJACENT AREAS FROM CONSTRUCTION DUST AND DEBRIS.
- ALL EXISTING LIFE-SAFETY DEVICES SHALL REMAIN IN PLACE AND OPERATIONAL THROUGHOUT CONSTRUCTION.
- DO NOT REMOVE ANY LOAD-BEARING STRUCTURAL COMPONENTS UNLESS LOAD-BEARING STRUCTURAL COMPONENT IS SHOWN TO BE REMOVED AND WHICH IS NOT INDICATED ON THE STRUCTURAL DRAWINGS.
- CONTACT ARCHITECT IMMEDIATELY FOR CLARIFICATION.
- GENERAL DESIGN INTENT INVOLVES THE PRESERVATION OF CERTAIN ARCHITECTURAL ELEMENTS AND FINISHES. IT IS THE INTENT THAT EACH PORTION OF THE DEMOLITION AND REMODELING WORK BE DONE BY THE SPECIFIC TRADE INVOLVED IN THE INITIAL INSTALLATION SO THAT THE INTENDED RESULTS CAN BE ACHIEVED. GC SHALL FOLLOW ALL INDUSTRY BEST PRACTICES FOR RESTORATION OR REPAIR OF HISTORIC ELEMENTS.
- ALL WORK TO BE DONE IN ACCORDANCE WITH ALL OSHA AND OTHER SAFETY STANDARDS.
- ALL RUBBISH AND DEBRIS SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF PROPERLY AT A COMMINGLED WASTE FACILITY, AS APPLICABLE. GC SHALL ACQUIRE JURISDICTIONAL DUMPSTER PERMIT.
- LANDSCAPING AND CERTAIN SITE FEATURES MAY HAVE BEEN OMITTED FROM THIS SHEET FOR CLARITY.

Professional Certification:  
I, Peter J. Miley, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Architect under the laws of Maryland.

License No. 22104 Exp. Date: 09/20/2025

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Structural Engineer

## 1 SHEET NOTES

## WRIGHT RESIDENCE

RENOVATION & ADDITION

353 SOUTH DRIVE  
SEVERNA PARK, MARYLAND

### Drawing Revisions

Issue	Date & Description	By
01	XX/XX/2024 OWNER REVIEW	JRB

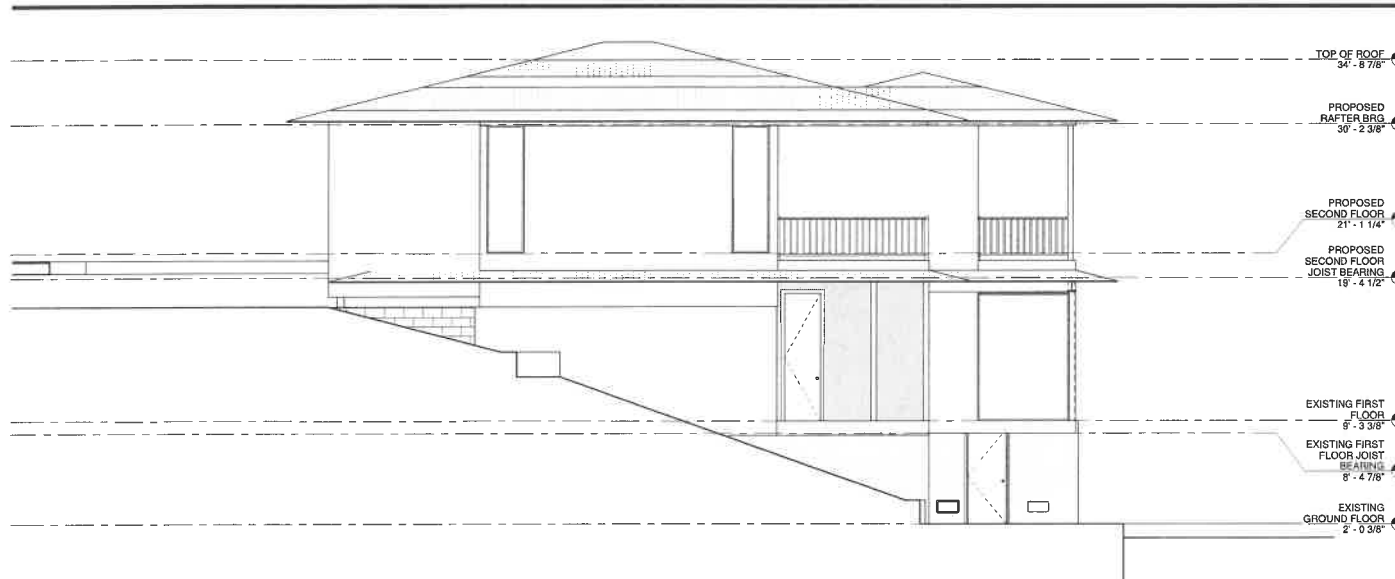
Description  
EXTERIOR ELEVATIONS - NEW WORK / CONSTRUCTION

Scale  
As Indicated  
0' 2' 4' 8'

A0900

## 2 WALL LEGEND

---	EXISTING PARTITION / WALL TO REMAIN
- - -	EXISTING CONSTRUCTION TO BE DEMOLISHED OR MODIFIED AS NOTED
---	NEW FRAMED PARTITION / WALL REFERENCE TO WALL TYPE
(A)	NEW CAST-IN-PLACE CONCRETE WALL REFERENCE TO WALL TYPE
(A)	NEW MASONRY WALL REFERENCE TO WALL TYPE



RIGHT SIDE ELEVATION - NEW WORK / CONSTRUCTION  
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION - NEW WORK / CONSTRUCTION  
SCALE: 1/4" = 1'-0"

## GENERAL NOTES

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- LANDSCAPING AND CERTAIN SITE FEATURES MAY HAVE BEEN OMITTED FROM THIS SHEET FOR CLARITY.

**Professional Certifications**  
I, Peter J. Miller, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Architect under the laws of Maryland.

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A LICENSED PROFESSIONAL ARCHITECT  
P. J. MILLER, ARCHITECT, INC.

Structural Engineer

## 1 SHEET NOTES

### WRIGHT RESIDENCE

RENOVATION & ADDITION

353 SOUTH DRIVE  
SEVERNA PARK, MARYLAND

#### Drawing Revisions

Issue	Date & Description	By
01	2000X2024 OWNER REVIEW	JSM

#### Description

EXTERIOR ELEVATIONS - NEW  
WORK / CONSTRUCTION

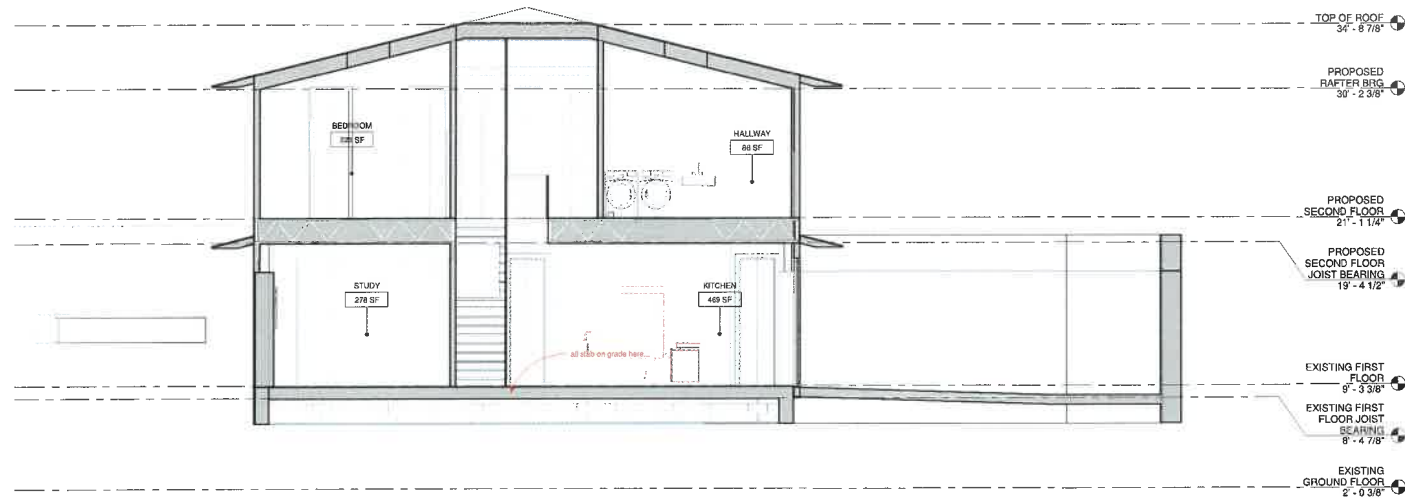
Scale  
As indicated

0' 2' 4' 6'

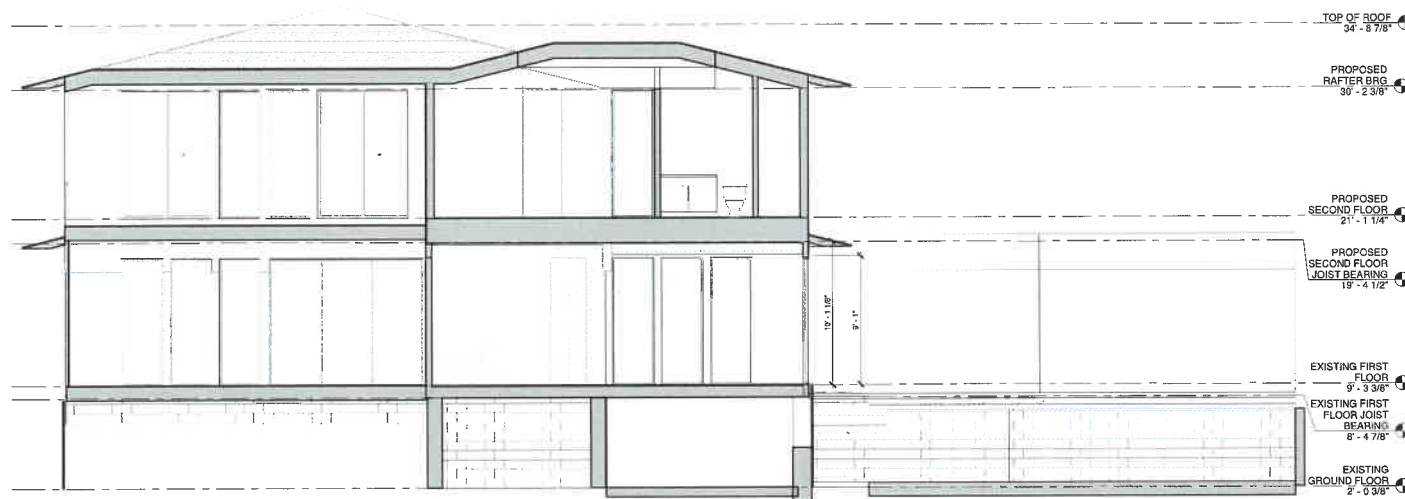
---	EXISTING PARTITION / WALL TO REMAIN
---	EXISTING CONSTRUCTION TO BE DEMOLISHED OR MODIFIED AS NOTED
---	NEW FRAMED PARTITION / WALL REFERENCE TO WALL TYPE
---	NEW CAST-IN-PLACE CONCRETE WALL REFERENCE TO WALL TYPE
---	NEW MASONRY WALL REFERENCE TO WALL TYPE

## 2 WALL LEGEND

A0901



Section 1  
SCALE: 1/4" = 1'-0"



Section 2  
SCALE: 1/4" = 1'-0"

## GENERAL NOTES

- LANDSCAPING HAS BEEN OMITTED FROM THIS SHEET FOR CLARITY. AS APPLICABLE, GO TO PROTECT EXISTING LANDSCAPING SCHEDULED TO REMAIN ADJACENT TO WORK AREAS.
- AS APPLICABLE, SEE EXTERIOR FINISH SCHEDULE FOR MORE INFORMATION.
- ALL STRUCTURAL COMPONENTS ON THIS SHEET ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. REFER TO STRUCTURAL DWGS FOR REQUIREMENTS.

## 1 SHEET NOTES

EXISTING PARTITION / WALL TO REMAIN
EXISTING CONSTRUCTION TO BE DEMOLISHED OR MODIFIED AS NOTED
NEW FRAMED PARTITION / WALL REFERENCE TO WALL TYPE
NEW CAST-IN-PLACE CONCRETE WALL REFERENCE TO WALL TYPE
NEW MASONRY WALL REFERENCE TO WALL TYPE

## 2 WALL LEGEND

**Professional Certification:**  
I, Peter J. Mares, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of Maryland.

License No. 22104 Exp. Date: 09/09/2025

**Architect**  
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**Structural Engineer**

## WRIGHT RESIDENCE

RENOVATION & ADDITION

353 SOUTH DRIVE  
SEVERNA PARK, MARYLAND

Drawing Revisions			
	Issue	Date & Description	By
-	01	XX/XX/2024	JRS
OWNER REVIEW			

**BUILDING SECTIONS - NEW WORK / CONSTRUCTION**

**Scale**  
As Indicated

A0910



## GENERAL NOTES

- LANDSCAPING HAS BEEN OMITTED FROM THIS SHEET FOR CLARITY. AS APPLICABLE, GC TO PROTECT EXISTING LANDSCAPING SCHEDULED TO REMAIN ADJACENT TO WORK AREAS.
- AS APPLICABLE, SEE EXTERIOR FINISH SCHEDULE FOR MORE INFORMATION.
- ALL STRUCTURAL COMPONENTS ON THIS SHEET ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. REFER TO STRUCTURAL DWGS FOR REQUIREMENTS.

TOP OF ROOF  
34' - 8 7/8"

PROPOSED  
RAFTER BRG  
30' - 2 3/8"

PROPOSED  
SECOND FLOOR  
21' - 1 1/4"

PROPOSED  
SECOND FLOOR  
JOIST BEARING  
19' - 4 1/2"

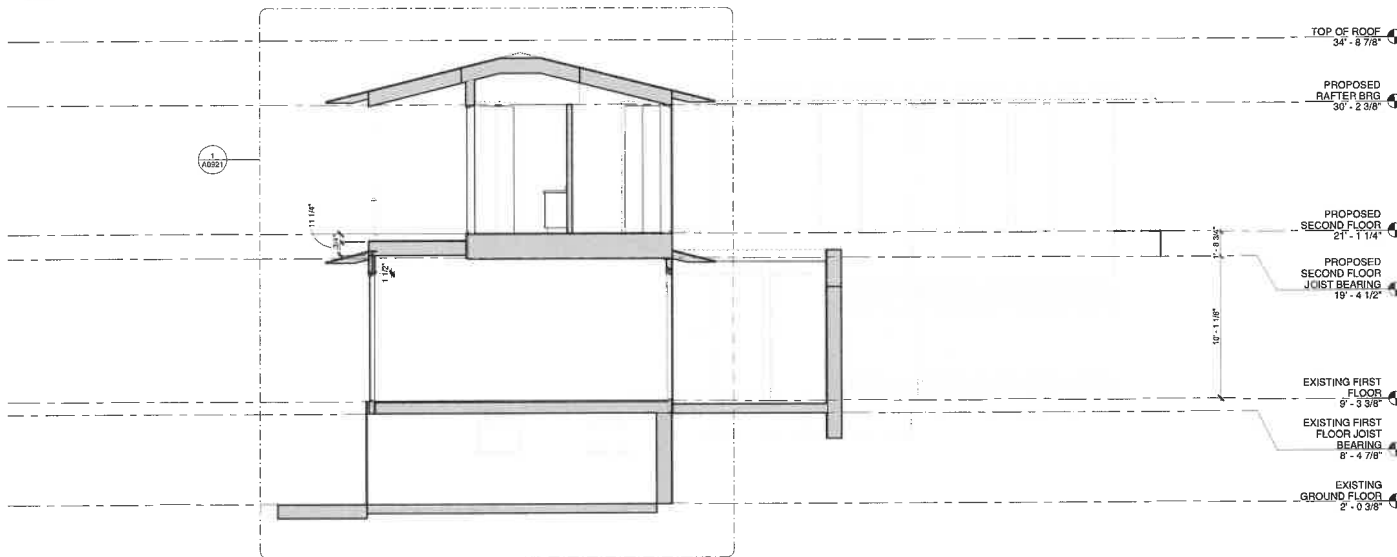
EXISTING FIRST  
FLOOR  
9' - 3 3/8"

EXISTING FIRST  
FLOOR JOIST  
BEARING  
8' - 4 7/8"

EXISTING  
GROUND FLOOR  
2' - 0 3/8"

## Section 3

SCALE: 1/4" = 1'-0"



## 1 SHEET NOTES

EXISTING PARTITION / WALL TO REMAIN
EXISTING CONSTRUCTION TO BE DEMOLISHED OR MODIFIED AS NOTED
NEW FRAMED PARTITION / WALL
REFERENCE TO WALL TYPE
NEW CAST-IN-PLACE CONCRETE WALL
REFERENCE TO WALL TYPE
NEW MASONRY WALL
REFERENCE TO WALL TYPE

## Section 4

SCALE: 1/4" = 1'-0"

## 2 WALL LEGEND

Professional Certification:  
I, Peter J. Miley, hereby certify that these documents  
were prepared to, approved by me, and that I am a  
duly licensed professional Architect under the laws  
of Maryland.

License No. 22104 Exp. Date: 09/02/2025

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410.321.7272 [www.drawingboardinc.com](http://www.drawingboardinc.com)

Structural Engineer

## WRIGHT RESIDENCE

RENOVATION & ADDITION

353 SOUTH DRIVE  
SEVERNA PARK, MARYLAND

### Drawing Revisions

Issue	Date & Description	By
01	XXXX/2024	JRB

OWNER REVIEW

### Description

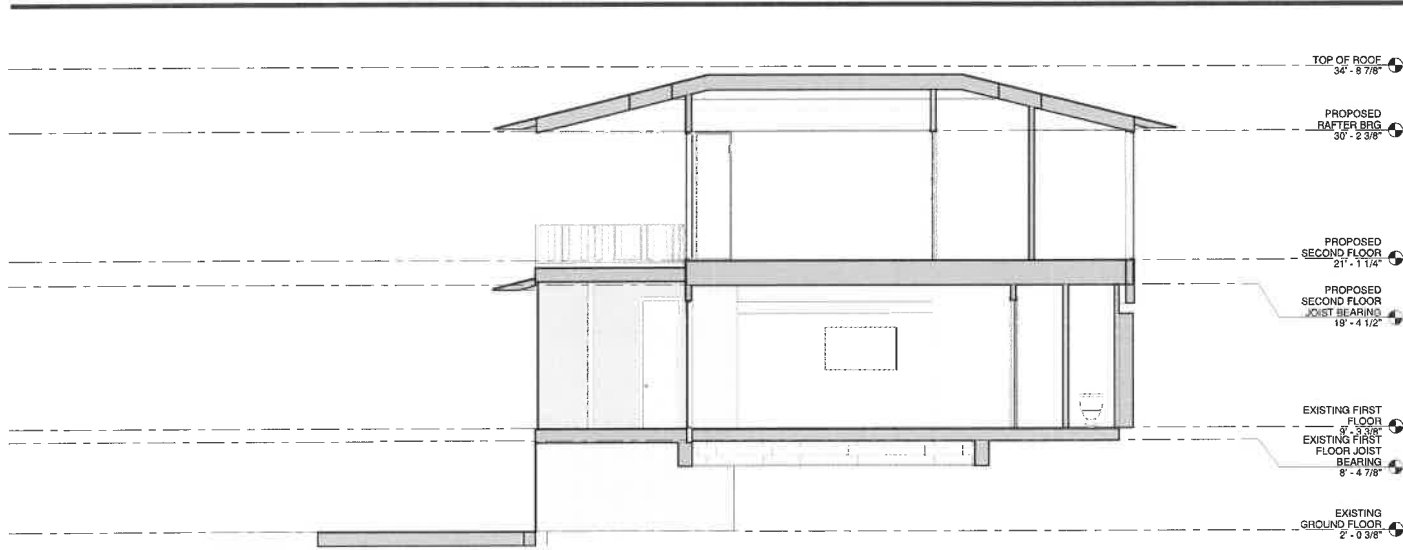
BUILDING SECTIONS - NEW WORK /  
CONSTRUCTION Copy 1

Scale

As Indicated



**A0911**



Section 5  
SCALE: 1/4" = 1'-0"

1 SHEET NOTES

### GENERAL NOTES

- LANDSCAPING HAS BEEN OMITTED FROM THIS SHEET FOR CLARITY. AS APPLICABLE, GO TO PROJECT EXISTING LANDSCAPING SCHEDULE TO REMAIN ADJACENT TO WORK AREAS.
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Professional Certification:  
I, Peter J. Adams, hereby certify that these documents  
were prepared or approved by me, and that I am a  
duly licensed professional Architect under the laws  
of Maryland.  
License No. 22194 Exp. Date: 09/02/2025

Architect

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Structural Engineer

### WRIGHT RESIDENCE

RENOVATION & ADDITION

353 SOUTH DRIVE  
SEVERNA PARK, MARYLAND

#### Drawing Revisions

Issue	Date & Description	By
01	XXXX/2024 OWNER REVIEW	JRB

#### Description

BUILDING SECTIONS - NEW WORK /  
CONSTRUCTION Copy 1 Copy 1

#### Scale

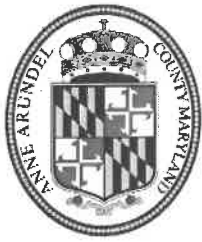
As Indicated



---	EXISTING PARTITION / WALL TO REMAIN
---	EXISTING CONSTRUCTION TO BE DEMOLISHED OR MODIFIED AS NOTED
---	NEW FRAMED PARTITION / WALL REFERENCE TO WALL TYPE
---	NEW CAST-IN-PLACE CONCRETE WALL REFERENCE TO WALL TYPE
---	NEW MASONRY WALL REFERENCE TO WALL TYPE

### WALL LEGEND





## OFFICE OF PLANNING AND ZONING

### CONFIRMATION OF PRE-FILE (2025-0052-P)

DATE OF MEETING: 06/16/2025

P&Z STAFF: Donnie Dyott, Kelly Krinetz

APPLICANT/REPRESENTATIVE: Robert Baxter EMAIL: rbaxter@drumloyka.com

SITE LOCATION: 353 South Drive, Severna Park LOT SIZE: 40,422 sq.ft. ZONING: R5

CA DESIGNATION: LDA BMA: Y or BUFFER:        APPLICATION TYPE: Variance

The applicant proposes to renovate the existing dwelling and to construct several additions including a landward addition, a screened porch, second floor addition and decking. Also proposed is a pool house, shed, pool and sauna. The proposal also includes the removal of existing retaining walls and some lot coverage within the 100 foot buffer.

The applicant describes the hardships of the site including the presence of steep slopes, the 100 foot buffer and the location of the existing dwelling being located entirely within the buffer and against the bulkhead of the shoreline.

The proposal will require variances to disturb steep slopes of 15% or greater and to the 25 foot front setback.

#### COMMENTS

The **Critical Area Team** commented the following:

I have no objection to the minimal slope disturbance required for the expansion of the existing structure.

I have no objection to the setback variance provided the proposed development is no closer to the front property line than the existing structure.

The upward expansion will need to demonstrate compliance with Article 18-2-402(5) in terms of the adjacent properties air, light and view.

Although the clearing limitation is not part of the variance request, I will provide comment since it is mentioned in the Letter of Explanation. Clearing on this site is limited to 30% of the developed woodland. This clearing is limited to the minimum necessary to accommodate a house, septic system, driveway and reasonable amount of yard or parking. Based on the site plan, there is minimal clearing for the house and driveway and the majority of the clearing is for the pool and other recreational improvements. The proposed layout would not meet the test for approval to exceed the 30% clearing amount and must be reduced/redesigned. This requirement will be addressed with the permit application.

**Zoning Administration Section:** The site plan should add dimensions from the proposed improvement within the front setback to the front property line to allow for the variances to be calculated. The applicant should clarify what is meant by "dwelling to be renovated" as it is unclear if the dwelling is being rebuilt or if the proposal is just for additions. The letter of explanation provides little to no justification on why these improvements are required, how they represent the minimum necessary or why the applicant doesn't have reasonable use of a residential lot with the current improvements. Architectural drawings would be helpful to determine all of the proposed changes to the dwelling relative to the existing conditions.

## INFORMATION FOR THE APPLICANT

Section 18-16-201 (b) Pre-filing meeting required. Before filing an application for a variance, special exception, or to change a zoning district, to change or remove a critical area classification, or for a variance in the critical area or bog protection area, an applicant shall meet with the Office of Planning and Zoning to review a pre-file concept plan or an administrative site plan. For single lot properties, the owner shall prepare a simple site plan as a basis for determining what can be done under the provisions of this Code to avoid the need for a variance.

\*\*\* A preliminary plan checklist is required for development impacting environmentally sensitive areas and for all new single-family dwellings. A stormwater management plan that satisfies the requirements of the County Procedures Manual is required for development impacting environmentally sensitive areas OR disturbing 5,000 square feet or more. State mandates require a developer of land provide SWM to control new development runoff from the start of the development process.

Section 18-16-301 (c ) Burden of Proof. The applicant has the burden of proof, including the burden of going forward with the production of evidence and the burden of persuasion, on all questions of fact. The burden of persuasion is by a preponderance of the evidence. A variance to the requirements of the County's Critical Area Program may only be granted if the Administrative Hearing Officer makes affirmative findings that the applicant has addressed all the requirements outlined in Article 18-16-305. Comments made on this form are intended to provide guidance and are not intended to represent support or approval of the variance request.