



— *Making a difference, together* —

South Shore Trail Phase III Schematic Design Community Meeting

April 1, 2025



DPWandYOU.com

Important Meeting Information

Tonight's meeting will be audio recorded.

- All questions will be answered at the end of the presentation

The audio recording will be posted to the project website located here:

<https://www.aacounty.org/recreation-parks/capital-projects/south-shore-trail>

Project Team

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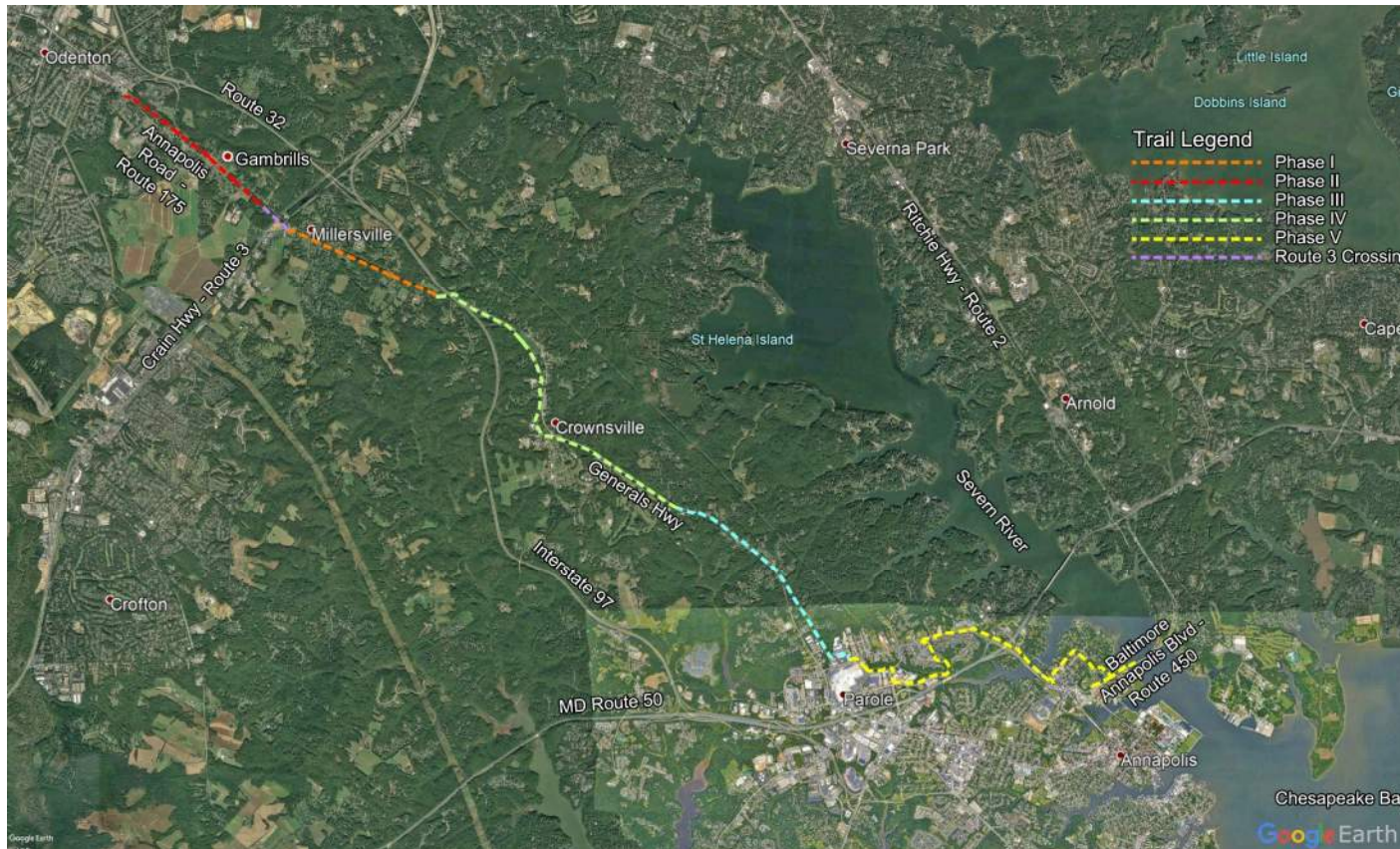
Bruce Bruchey
Chief of Planning and Construction
Department of Recreation and Parks

Jonathan Norman, RLA
Project Manager
Pennoni Associates

Purpose of Meeting

30% Schematic Design Overview

South Shore Trail



Status of Phases

Phase I – Open

Phase II – Under Construction

Phase III – Under Design

Phase IV – Under Design

Route 3 Crossing- Feasibility

Complete

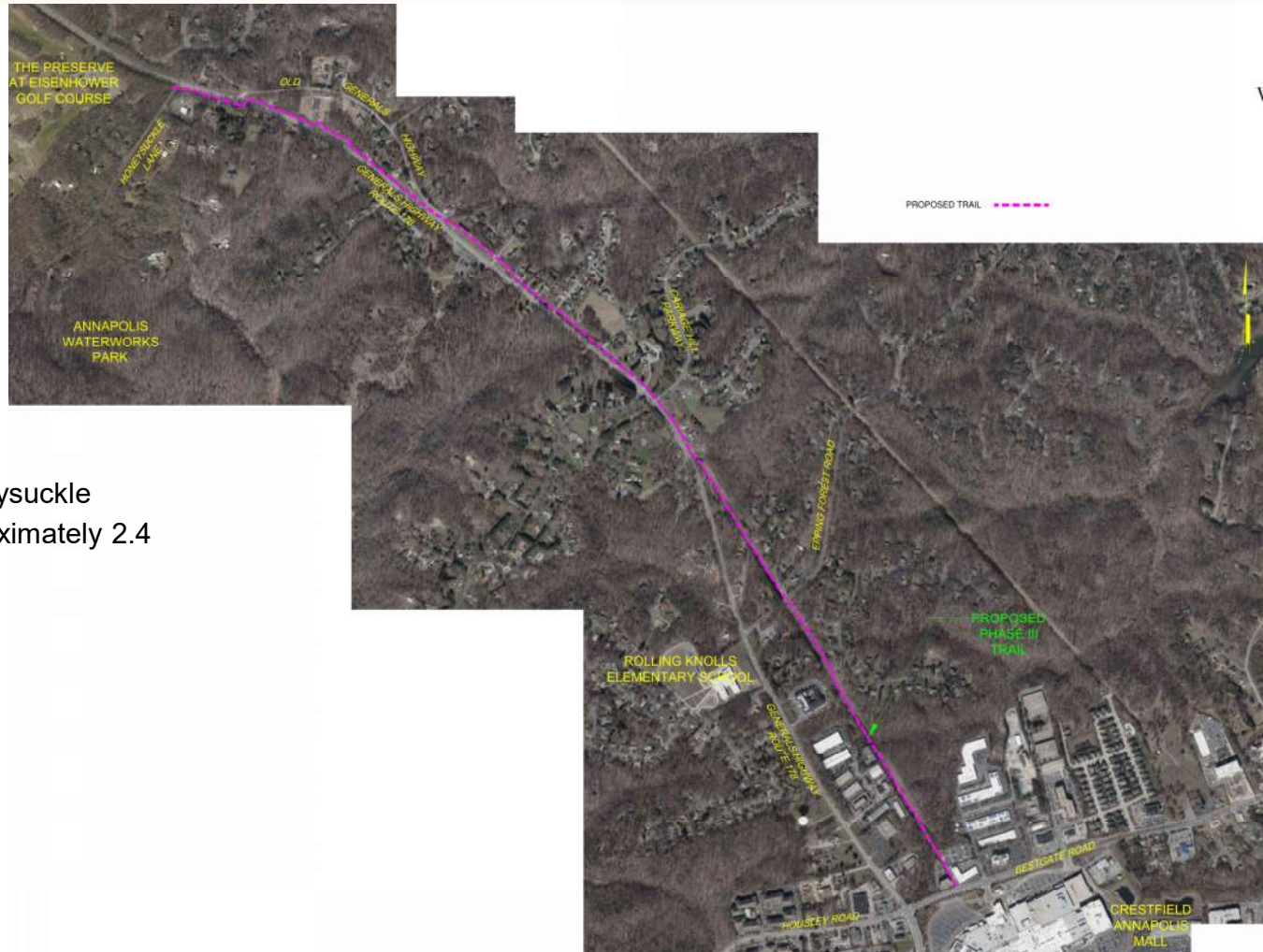
Phase V – Master Plan

Complete

Phase VA - Open

Phase III

- Proposed trail runs from Honeysuckle Lane to Bestgate Road (approximately 2.4 miles)



Status of Phase III

Preliminary Schedule for Phase III County Design Process

Site Inventory/Feasibility Study/Preliminary Alignment – Completed Fall 2024

Initial Schematic Design – Completed Fall 2024

Initial Public Meeting - Tonight

30% Schematic Design – **The project is currently in this phase**

60% Design Development

Right-of-Way Acquisition

Public Meeting – Upon completion of 60% Design Development

Prepare and Submit Construction Document Package

Submit and Obtain Permits

Final Public Meeting – Prior to Construction

Modification Requests may be needed as the project progresses through the 60% Design Development Phase.

Any required community meetings will be held during the Design Development Phase

Advertising of the project, Award of the Contract, and Construction Start will occur on completion of design and receipt of all permits

Capital Project Life Cycle



Right-of-Way Process

It is critical that the appropriate rights-of-way, easements and real estate acquisitions necessary to implement a project be secured before the Construction Phase can begin.

1 Project Inception

A Capital Project request is created in response to a need identified by a User Agency. The Bureau of Engineering develops a project description, budget and schedule. The Capital Project request is reviewed by the Capital Improvement Plan Oversight Committee, who weighs costs and public advantages along with those of other ongoing or new project requests. Ultimately, the County Executive determines which projects are included in the Capital Budget request presented to the County Council annually. The request to fund the new Capital Project must be approved by the County Council.

2 Contract Initiation

Once the Capital Project is approved, a new Contract is created. A scope of work is identified and used to competitively select an engineering firm to execute the Design Phases. The DPW Project Manager oversees the engineering firm's selection process and the various Design Phases, including communicating and coordinating with the User Agency and the Public.

3 Design

Schematic Design
During the Pre-Design Phase, the information that has been gathered is transformed into multiple options, alternative evaluations and comparisons, and ultimately a recommended preferred alternative. This evaluation process includes developing conceptual drawings, writing reports and estimating probable construction costs that illustrate the scale and relationship of project components.

Design Development

In Design Development, the Schematic Design is defined and refined through plans, profiles, elevations, and sections depicting the layout of buildings, linear infrastructure, rights-of-ways, limits of disturbance and pertinent site features.

Construction Documents

The plans and outline specifications prepared during Design Development are developed into a complete set of Construction Drawings and Specifications used to secure construction contractor bids, obtain the required permits and rights-of-ways and serve as the basis for preparing the Engineer's final estimate of probable construction cost.

Bid Documents

After completing the Construction Documents, the necessary rights-of-way and construction permits must be received before DPW can warrant the construction documents, sign the drawings and advance the Project to the Bid & Award Phase.

4 Bid & Award

The Bid Documents are provided to prospective bidders as part of a competitive bidding process that determines which Construction Contractor will be awarded the contract to build the proposed capital improvements.

5 Construction

The DPW Project Manager is responsible for overseeing and coordinating the collective efforts of the Construction Contractor, the Consultant providing construction management and inspection services and the Design Consultant providing technical guidance during construction.

6 Project Performance

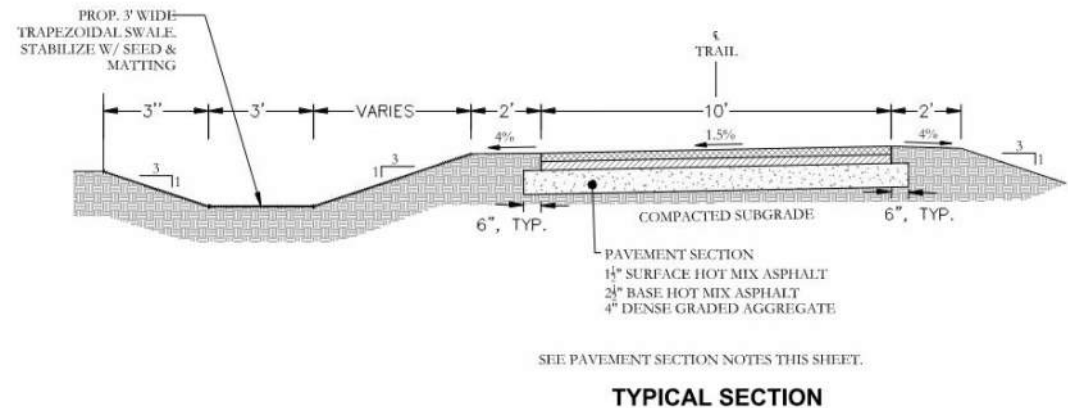
This is the close-out of the Construction Contract, signifying conditional acceptance of the work. During the one-year Contractor warranty period, the constructed project is monitored - any observed defective construction work is corrected - and the County issues "final acceptance" of the Project. At the end of the Project Performance Period, the User Agency becomes responsible for all required routine maintenance and operation.



Phase III Overview

Trail Overview

- Development occurs generally within County right-of-way, BGE/former railroad right-of-way and MD 178 right-of-way (Generals Highway)
- Approximately 2.4 miles from Honeysuckle Lane to Bestgate Road
- 10' wide asphalt surface
- ADA accessible – slopes generally 4.5% or less
- Multiple retaining walls minimize tree clearing, grading, environmental impacts
- Stormwater management facilities and landscaping provided along trail
- Seven major road crossings and associated pedestrian improvements (signage, crosswalks, and pedestrian traffic signals) are proposed: Honeysuckle Lane, Old Generals Highway (2 locations), Covington Way, Dunton Road, Carriage Hill Parkway, and Epping Forest Road.
- Road improvements to Callahan Lane
- Intersection improvements to Callahan Lane and Bestgate Road



Trail Overview

Typical Existing Conditions



MD 178 south of Honeysuckle Lane



MD 178 intersection with Old Generals Highway

Trail Overview

Typical Existing Conditions



MD 178 South of Old Generals Highway intersection



MD 178 South of Old Generals Highway intersection

Trail Overview

Typical Existing Conditions



MD 178 south of Dunton Road



MD 178 at the location where the trail starts to follow the BGE and Former Railroad Right-of-Way

Trail Overview

Typical Existing Conditions



Existing BGE and Former Railroad Right-of-Way north of Epping Forest Road



Existing BGE and Former Railroad Right-of-Way south of Epping Forest Road

Trail Overview

Typical Existing Conditions



Existing BGE and Former Railroad Right-of-Way at substation



Existing BGE substation access

Trail Overview

Typical Existing Conditions



Existing Callahan Lane looking north



Existing Callahan Lane looking south

Trail Overview

Typical Existing Conditions



Intersection of Callahan Lane and Bestgate Road

Trail Overview

Typical Retaining Walls



Typical Chain Link Fence



Typical Split Rail Fence



Honeysuckle Lane to Dunton Road Area

- Primarily located within State right-of-way
- Retaining Walls to minimize clearing
- Crosswalk improvements to the intersection of Honeysuckle Lane, Generals Highway and Old Generals Highway (2 locations), Covington Way, and Dunton Road



LEGEND

PROPERTY LINE

PROPOSED TRAIL

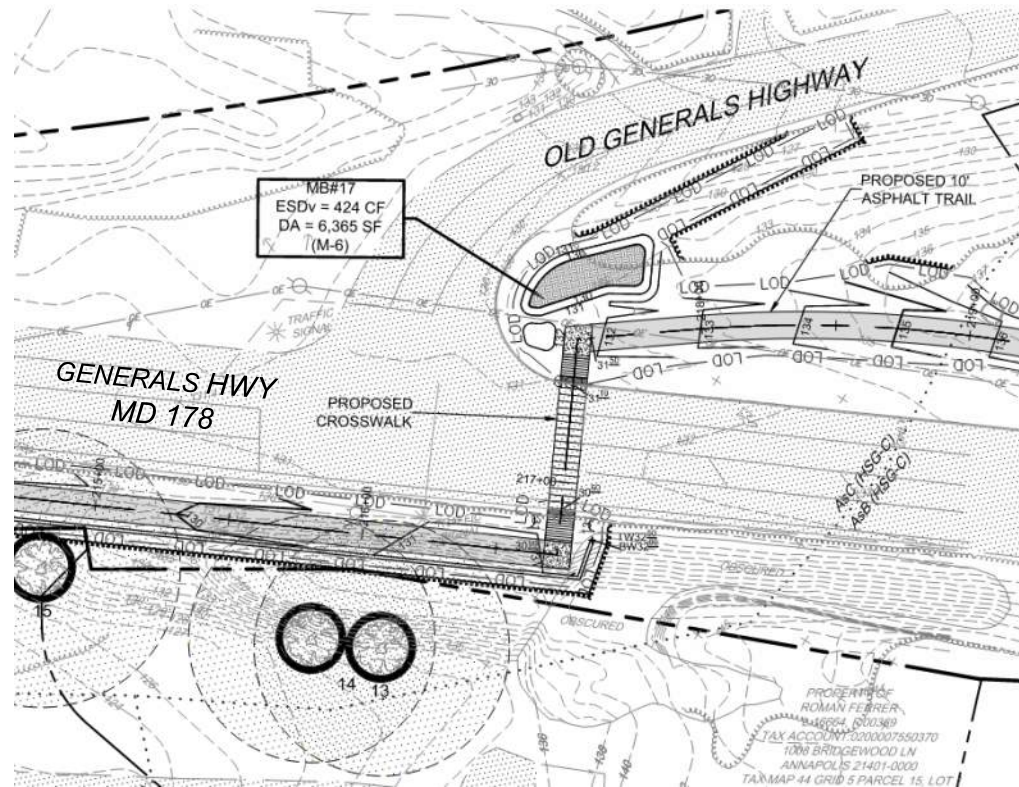
PROPOSED ROAD CROSSING

PROPOSED RETAINING WALL



Crossing at Old Generals Highway

- Located at a signalized intersection
- Painted crosswalk to be installed
- Pedestrian traffic signals to be installed



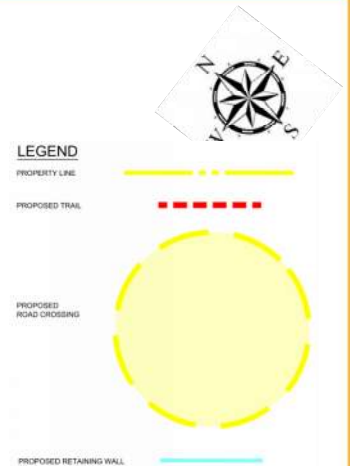
Duntun Road Area to Epping Forest Road Area

- Primarily located within State right-of-way, County owned land and BGE right-of-way
- Steep side slopes
- Retaining walls to minimize clearing
- Crosswalk Improvements to Carriage Hill Parkway and Epping Forest Road



Epping Forest Road to Bestgate Road

- Primarily located within County and BGE right-of-way
- Crosswalk improvements at Epping Forest Road and Bestgate Road
- Road improvements along Callahan Lane



Tree Preservation/Forest Conservation

- Limited Tree Clearing – This is expected to be treated as a linear project. A large portion of the trail is proposed to be located along existing utility easements maintained by BGE. These easements are already cleared and maintained in order to ensure the integrity of the power lines
- Several Specimen Trees will be preserved
- Additional landscaping will be added where can be accommodated, taking into account overhead power lines

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Questions?

Questions can also be submitted to:

<https://www.aacounty.org/departments/planning-and-zoning/development/community-meetings/community-meeting-calendar/>

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