



— *Making a difference, together* —

# South Shore Trail Phase IV Revised Schematic Design Community Meeting

March 6, 2025



DPWandYOU.com

# Important Meeting Information

Tonight's meeting will be audio recorded.

- All questions will be answered at the end of the presentation

The audio recording will be posted to the project website located here:

<https://www.aacounty.org/recreation-parks/capital-projects/south-shore-trail>

# Project Team

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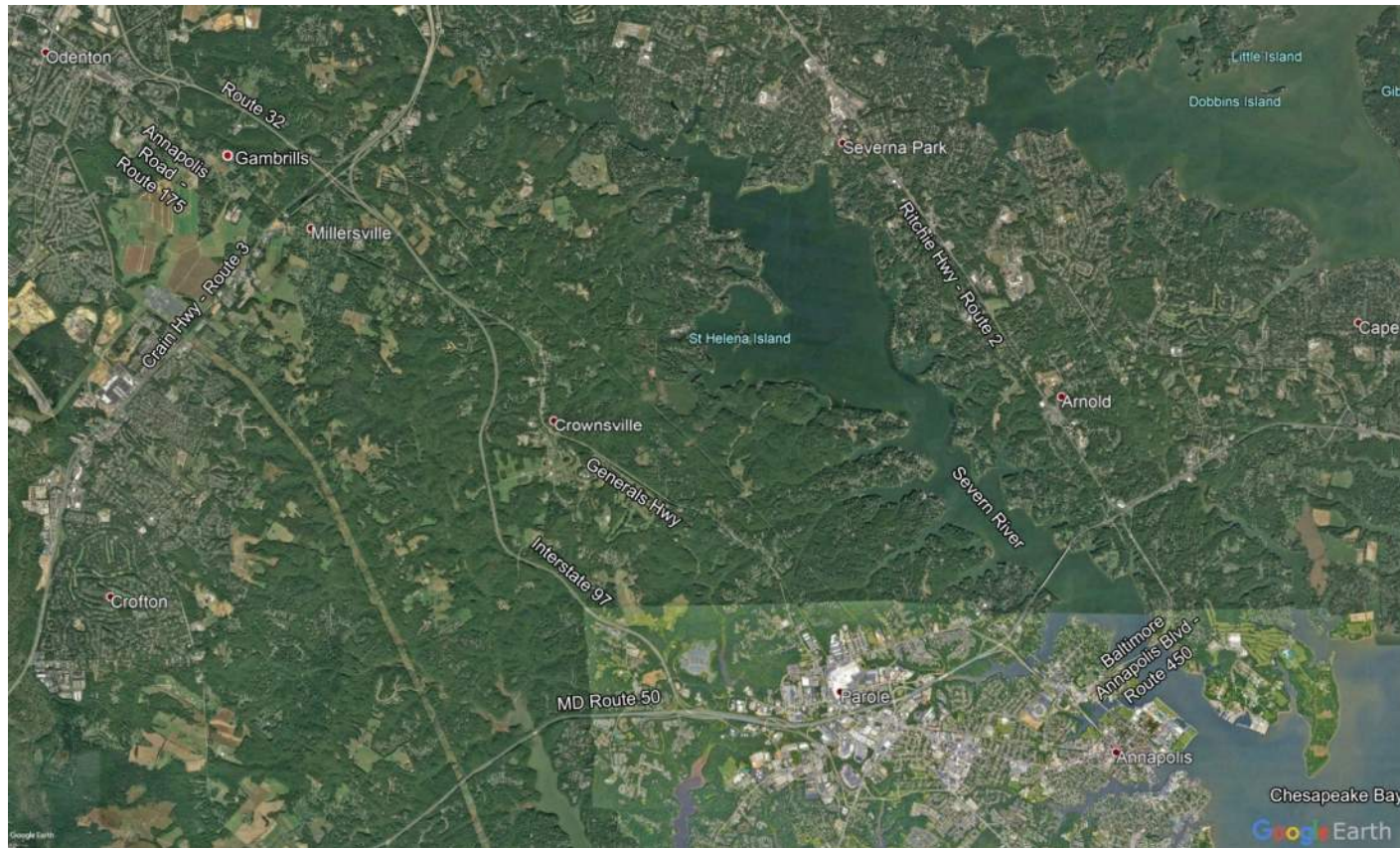
Bruce Bruchey  
Chief of Planning and Construction  
Department of Recreation and Parks

Jonathan S. Norman, RLA  
Project Manager  
Pennoni Associates

# Purpose of Meeting

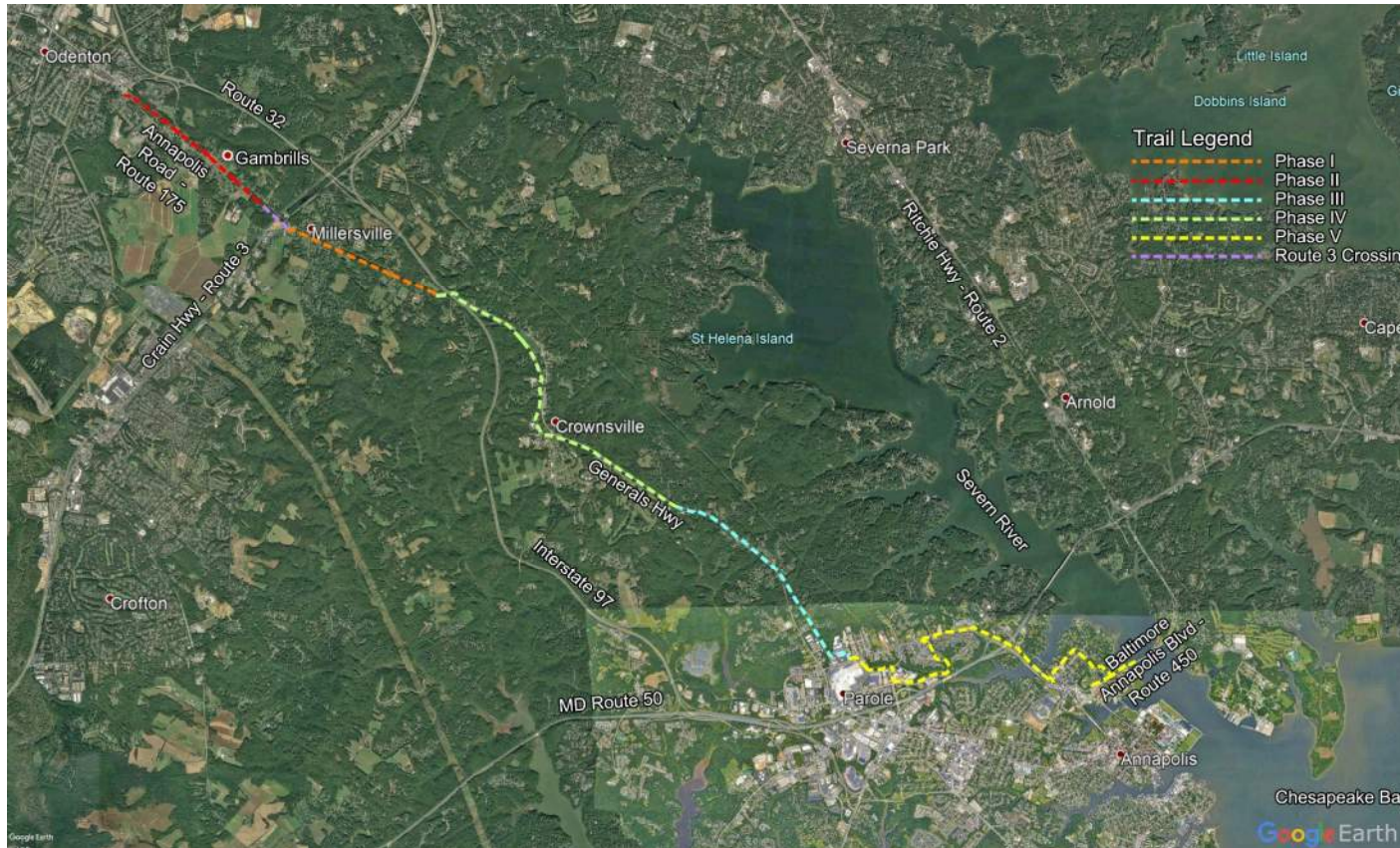
Revised 30% Schematic Design Overview

# Crownsville Area Map





# Soth Shore Trail



## Status of Phases

Phase I – Open

Phase II – Under Construction

Phase III – Under Design

Phase IV – Under Design

Route 3 Crossing- Feasibility

Complete

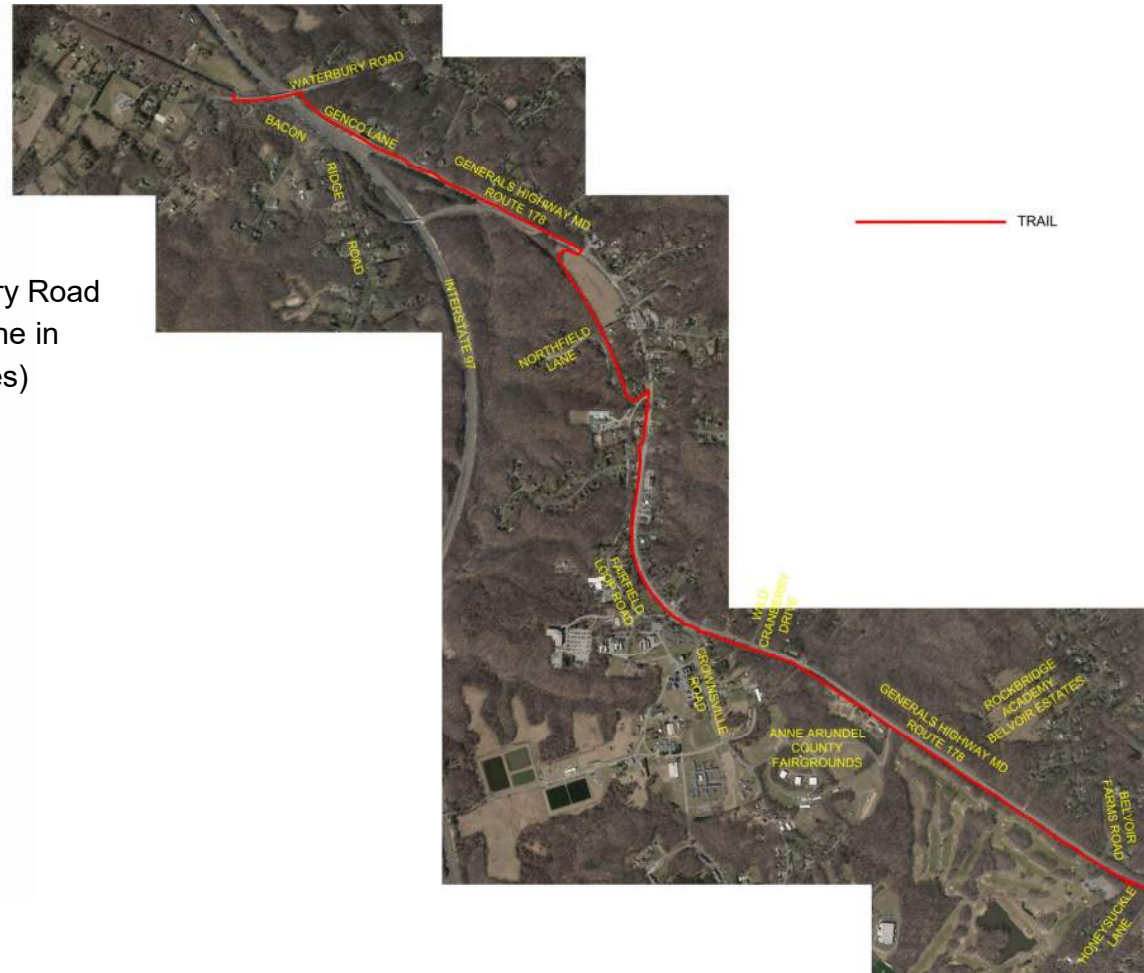
Phase V – Master Plan

Complete

Phase VA - Open

# Phase IV

- Proposed trail runs from Waterbury Road in Crownsville to Honeysuckle Lane in Annapolis (approximately 3.7 miles)



# Status of Phase IV

## Preliminary Schedule for Phase IV County Design Process

Site Inventory/Feasibility Study/Preliminary Alignment – Completed (Spring 2021)

Original Schematic Design – Completed (Fall 2021)

Original Schematic Design Public Meeting – Completed (May 2022)

Revised 30% Schematic Design – **The project is currently in this phase**

- Several alternate alignment routes were studied to bring the trail through Crownsville Park and down to Honeysuckle Lane.
- Due to design challenges, the alignment was brought back to MD 178 and design adjustments were made to minimize impacts to adjacent properties.

Schematic Design Update Public Meeting - Tonight

60% Design Development

Right-of-Way Acquisition

Public Meeting – Upon completion of 60 %Design Development

Prepare and Submit Construction Document Package

Submit and Obtain Permits

Final Public Meeting – Prior to Construction

Modification Requests may be needed as the project progresses through the 60% Design Development Phase. Any required community meetings will be held during the Design Development Phase

Advertise and Award Contract and Construction Start will occur on completion of design and receipt of all permits.



# Capital Project Life Cycle



## Right-of-Way Process

It is critical that the appropriate rights-of-way, easements and real estate acquisitions necessary to implement a project be secured before the Construction Phase can begin.

### 1 Project Inception

A Capital Project request is created in response to a need identified by a User Agency. The Bureau of Engineering develops a project description, budget and schedule. The Capital Project request is reviewed by the Capital Improvement Plan Oversight Committee, who weighs costs and public advantages along with those of other ongoing or new project requests. Ultimately, the County Executive determines which projects are included in the Capital Budget request presented to the County Council annually. The request to fund the new Capital Project must be approved by the County Council.

### 2 Contract Initiation

Once the Capital Project is approved, a new Contract is created. A scope of work is identified and used to competitively select an engineering firm to execute the Design Phases. The DPW Project Manager oversees the engineering firm's selection process and the various Design Phases, including communicating and coordinating with the User Agency and the Public.

### 3 Design

**Schematic Design**  
During the Pre-Design Phase, the information that has been gathered is transformed into multiple options, alternative evaluations and comparisons, and ultimately a recommended preferred alternative. This evaluation process includes developing conceptual drawings, writing reports and estimating probable construction costs that illustrate the scale and relationship of project components.

#### Design Development

In Design Development, the Schematic Design is defined and refined through plans, profiles, elevations, and sections depicting the layout of buildings, linear infrastructure, rights-of-ways, limits of disturbance and pertinent site features.

### Construction Documents

The plans and outline specifications prepared during Design Development are developed into a complete set of Construction Drawings and Specifications used to secure construction contractor bids, obtain the required permits and rights-of-ways and serve as the basis for preparing the Engineer's final estimate of probable construction cost.

#### Bid Documents

After completing the Construction Documents, the necessary rights-of-way and construction permits must be received before DPW can warrant the construction documents, sign the drawings and advance the Project to the Bid & Award Phase.

### 4 Bid & Award

The Bid Documents are provided to prospective bidders as part of a competitive bidding process that determines which Construction Contractor will be awarded the contract to build the proposed capital improvements.

### 5 Construction

The DPW Project Manager is responsible for overseeing and coordinating the collective efforts of the Construction Contractor, the Consultant providing construction management and inspection services and the Design Consultant providing technical guidance during construction.

### 6 Project Performance

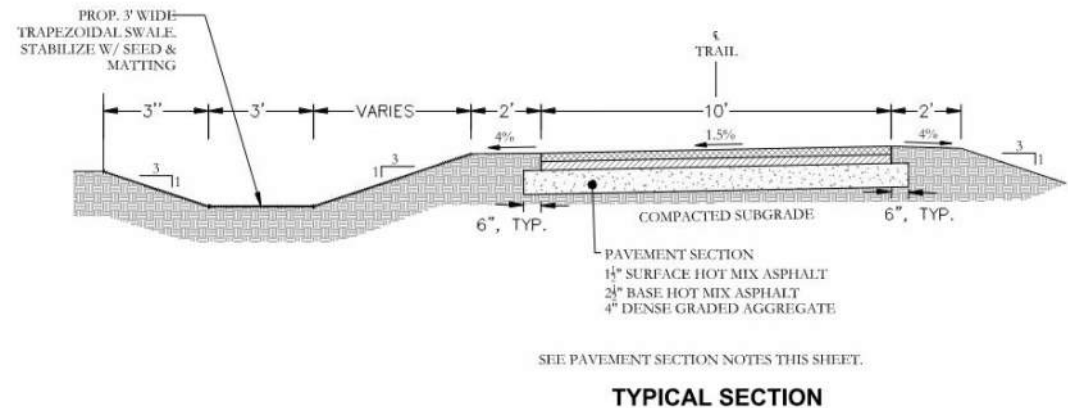
This is the close-out of the Construction Contract, signifying conditional acceptance of the work. During the one-year Contractor warranty period, the constructed project is monitored - any observed defective construction work is corrected - and the County issues "final acceptance" of the Project. At the end of the Project Performance Period, the User Agency becomes responsible for all required routine maintenance and operation.



## Phase IV Overview

# Trail Overview

- Development occurs generally within County right-of-way, former Railroad right-of-way and MD 178 Right-of-Way (Generals Highway)
- Approximately 3.7 miles from Waterbury Road to Honeysuckle Lane
- 10' wide asphalt surface
- ADA accessible – slopes generally 4.5% or less
- Multiple retaining walls and a boardwalk and bridge to minimize tree clearing, grading, and environmental impacts
- Trail will not impact overhead power poles and associated guy wires
- Stormwater management facilities and landscaping provided along trail
- Four major road crossings and associated pedestrian improvements (signage, crosswalks, and pedestrian traffic signals) are proposed: Waterbury Road, Generals Highway, Fairfield Loop Road, and Crownsville Road





# Trail Overview

## Typical Existing Conditions



Waterbury Road Bridge



MD 178 Ramp to I-97



MD 178 Ramp/Genco  
Lane



Future Crownsville  
Area Park Site



# Trail Overview

Typical Existing Conditions



MD 178 Right-of-Way (Generals Highway) and Former Railroad Right-of-Way

# Trail Overview

Typical Retaining Walls, Bridge, and Boardwalk





# Waterbury Rd to Generals Hwy Intersection

- Primarily located within State/County Right-Of-Way
- Steep side slopes and wetland areas
- Shoulder and Lane shifts on the Waterbury Road Overpass
- Retaining Walls to minimize clearing
- Boardwalk and Bridge to cross streams and wetlands
- Crosswalk improvements to Waterbury Road and the intersection of Generals Highway

## LEGEND

PROPERTY LINE

PROPOSED TRAIL

PROPOSED RETAINING WALL

PROPOSED BOARDWALK OR PEDESTRIAN BRIDGE

PROPOSED ROAD CROSSING



# Generals Hwy Intersection to West of Crownsville Rd



- Primarily located within State Right-Of-Way and County owned land
- Steep side slopes
- Retaining Walls to minimize clearing
- Crosswalk Improvements to Generals Highway and Fairfield Loop Road



# Crownsville Rd to Fairgrounds Entrance

- Primarily located within State Right-Of-Way
- Crosswalk Improvements at Crownsville Road and the entrance to the County Fairgrounds



# Fairgrounds Entrance to Honeysuckle Lane

- Located within State Right-Of-Way
- Parallel to Generals Highway
- Retaining Walls to minimize clearing and environmental impacts
- Crosswalk Improvements at the entrance to Eisenhower Golf Course and Honeysuckle Lane

## LEGEND

PROPERTY LINE

PROPOSED TRAIL

PROPOSED RETAINING WALL

PROPOSED BOARDWALK OR  
PEDESTRIAN BRIDGE

PROPOSED  
ROAD CROSSING



# Tree Preservation/ Forest Conservation

# Tree Clearing

- Limited Tree Clearing – This is expected to be treated as a linear project. A large portion of the trail is proposed to be located along existing utility easements maintained by BGE. These easements are already cleared and maintained in order to ensure the integrity of the power lines
- Several Specimen Trees being preserved
- Additional landscaping being added where this can be accommodated, taking into account overhead power lines



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Questions?

# Follow DPW



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## Bureau of Utility Operations

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**24-Hour Emergency Water Service:**  
(410) 222-8400  
**Billing Inquiries:** (410) 222-1144



## Bureau of Waste Management Services

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**Bulk Trash Service / Curbside Collections:** (410) 222-6100



## Bureau of Engineering

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**General Inquiries:** (410) 222-7500



## Bureau of Highways

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**General Inquiries:** (410) 222-7321  
**Snow Line:** (410) 222-4040  
**Email:** [hwyscustomercare@aacounty.org](mailto:hwyscustomercare@aacounty.org)



## Bureau of Watershed Protection and Restoration

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**General Inquiries:** (410) 222-4240

## Customer Relations

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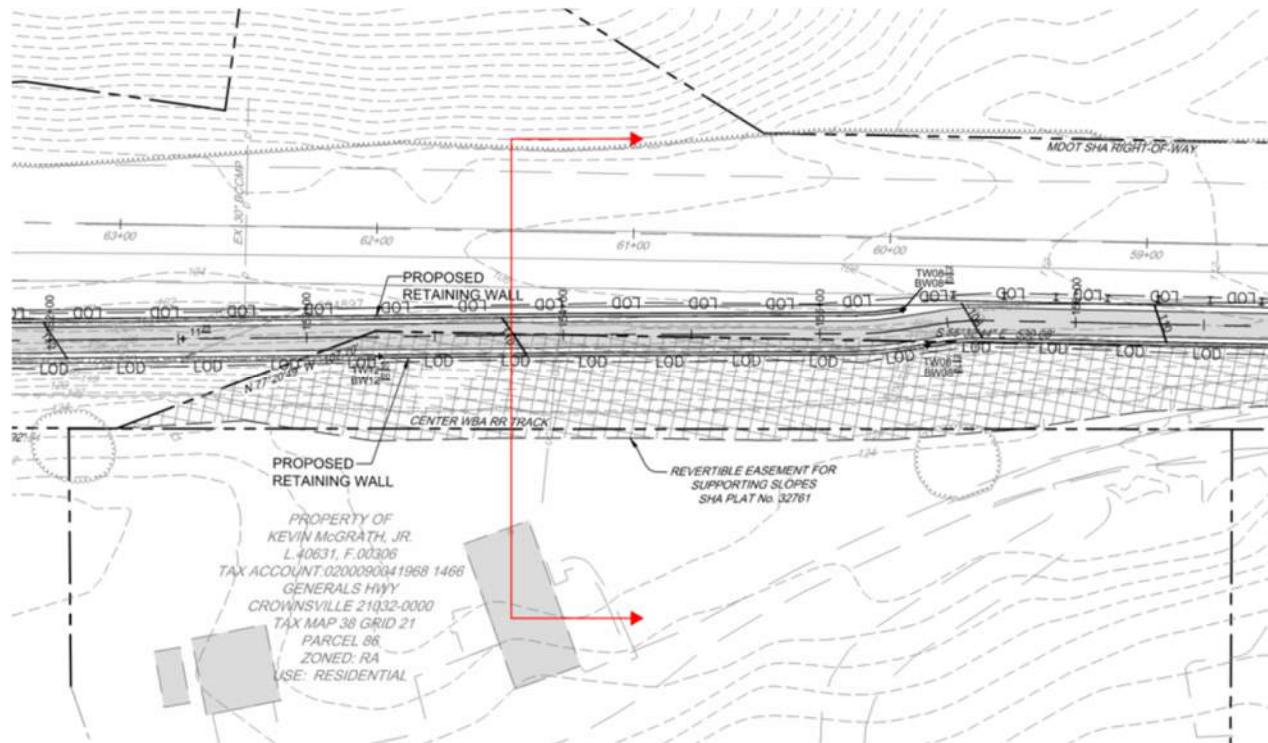
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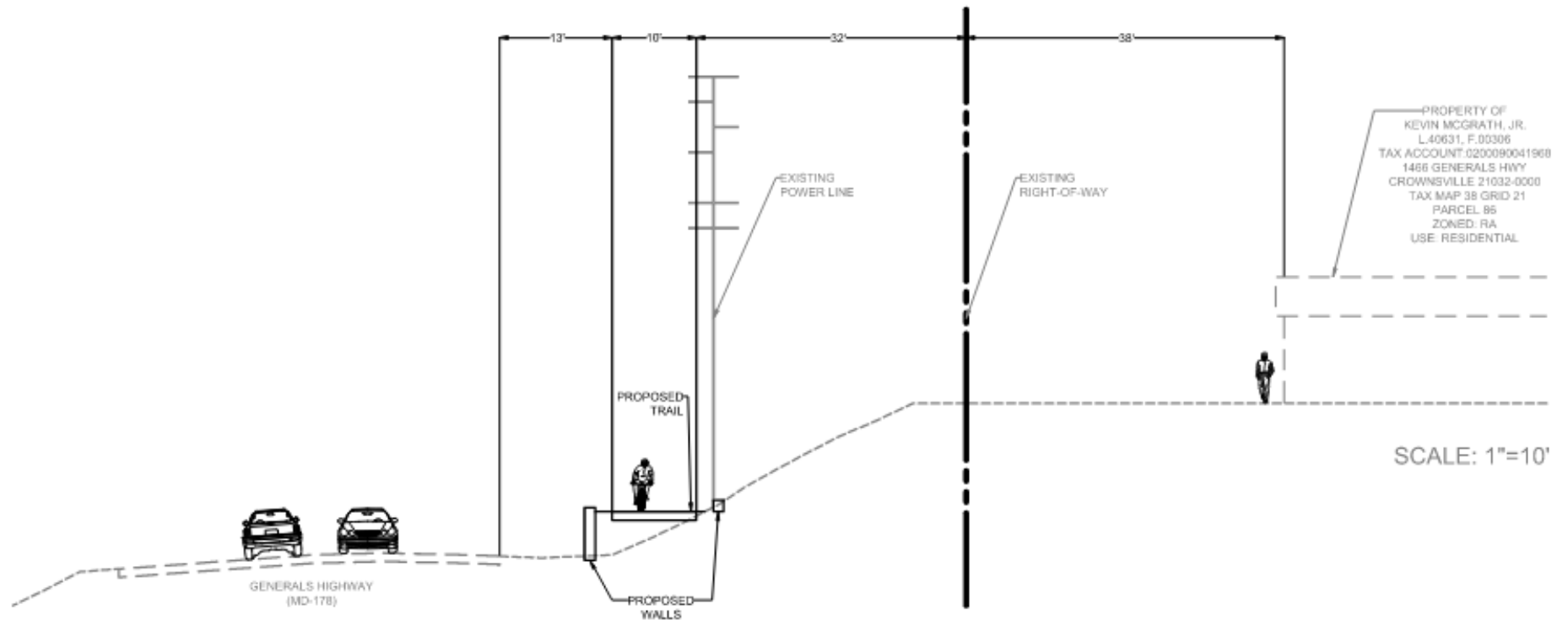
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# MD 178 Properties Plan



# MD 178 Properties Section



# MD 178 Properties Site Photos



Photos of existing conditions along MD 178 Right-of-Way