GAMMA ENGINEERING

1203A West Street, Annapolis, Md.21401 410.626.1070 email <u>blupt@icloud.com</u>

February 20, 2023

Office of Planning & Zoning 2664 Riva Rd. Annapolis, MD 21401

Letter of Explanation: 128 Cresston Road Lots 84 & 85, Creston Park Subdivision

Owner: Chessie Homes Tax Account: 3225 9025 3246

Map 32H, Parcel 134

This letter of explanation pertains to the above referenced property which consists of 2 lots under the above tax accounts and is owned by Kelsey Lynn Lennon and Chessie Homes. These are part of a group of 5 lots, all 5 have been recognized, because both water and sewer are present, as legal lots: the requirement to combine lots to meet minimum area requirement is not applicable. This variance application is submitted as part of the current effort to obtain two buildable sites out of the total of 5 lots. Adjacent lots, 86, 87 and 88, 126 Cresston Road also has a slope variance request to be filed concurrently.

128 Cresston Road:

A variance request for 1371 sq.ft. or 0.0315 acres of disturbance to steep slopes is requested. The proposed site area is 5906.5 sq. ft., zoned R2, served by both public water and sewer, is a double frontage lot and is in critical area is LDA. Because of the dual frontage, 30 foot setbacks apply to both frontages. The existing infill lot is occupied by invasive English ivy dominated understory and a canopy of overgrown red and white oak trees; (Quercus rubra, Quercus Alba) approximately half of the trees appear to be dead. (2 located along the eastern property line are dead and threatening to fall on the neighbor's house and will be removed with the neighboring acknowledgment.) The site flat area is indicated on the "existing condition plan with house placement detail" and is adjacent to Cresston Road. The prefile comments recognized this buildable area on the 128 site.

Explanation that applies to both sites (This is repeated in the 126 Cresston application.)

The pre-file OPZ recommendation for denial is based on the position that all 5 lots should be combined to create a single site. The OPZ prefile comments noted there was a single "developable area" (a flat area of less than 15% slopes) however, both sites have flat areas as indicated on the details labeled: "existing condition plan with house placement detail". The flat area on 126 Cresston site is not as easily observable in the field being obscured by a pile of fallen trees.

The details indicate the flat area on the frontage of the two respective roads with the houses placed at the BRL thus utilizing the flat areas but also including a portion of adjacent slopes thus providing enough elevation differential that allows a "walkout basement" for both houses. Walkout basements provide an efficient configuration, the at grade basement wall allows the option of a wood framed wall that in conjunction with windows on each sidewall, creates a living space without a "basement feel". This maximizes living area in a minimum footprint and thus impact to the environment. (House foundation footprints: 128: 36'x 40' and 126: 36'x 38')

Justification for allowing 2 buildable sites created from the 5 legal lots.

- The 2 & 3 lot groupings are standard sites in the neighborhood. See attached exhibit of house sites in the immediate surrounding neighborhood; all but one house site consist of 2 or 3 lot groupings. There is one 4 and no 5 lot groupings. - Houses front opposite streets: The flat areas on each site are located adjacent to alternate road frontages resulting in a single house impacting each street.

While one house on all five lots avoids denying any use, the use it allows is not consistent with the surrounding neighborhood of 2 and 3 lot groupings which we suggest establishes rights commonly enjoyed by other properties. If the applicant is required to have 5 lots for a single site, we assert the client is being denied "rights commonly enjoyed by other properties" i.e there are no 5 lot site groupings and only a single 4 lot grouping.

Responses to prefile comments:

Critical Area Team and Zoning Administration - see above discussion of flat areas and lot groupings.

I & P Engineering – 1. A soil boring has been provided for each practice.2. There are no stream buffers or wetlands or buffers affecting this site only steep slopes. 3&4. It is acknowledged the property is served by public water and sewer and will be reviewed at grading permit. 5&6 Infiltration devices have proper separation. "7. The site to ensure that any existing downstream flooding, including nuisance flooding issues, will be exacerbated by the proposed development." (Not clear what this is requiring, we offer: The site has an adequate outfall; there is roadside 375' gutter from the site to tidewater with no flood prone structures.

The following addresses the conditions for granting a variance per section 18-16-305 (b):

- 1. Because of certain unique physical conditions, such as exceptional topographical conditions peculiar to and inherent in the particular lot or irregularity. The presence of the slopes are inherent topographical feature of the site.
- 2. A literal interpretation of COMAR, Title 27, Criteria for Local Critical Area Program Development or the County's critical area program and related ordinances will deprive the applicant of rights commonly enjoyed by other properties in similar areas as permitted in accordance with the provisions of the critical area program within the critical area of the County; See Exhibit of the surrounding properties in the immediate area; the development mostly occurring on two and three lots and many affected by steep slopes such as the subject allows the applicant rights commonly enjoyed by other properties..
- 3. The granting of a variance will not confer on an applicant any special privilege that would be denied by COMAR, Title 27, the County's critical area program to other lands or structures within the County critical area, or the County's bog protection program to other lands or structures within a bog protection area See Exhibit of the surrounding properties and the development; this development does not confer any special privilege and is similar to that occurring on the immediate neighboring properties.
- 4. The variance request is not based on conditions or circumstances that are the result of actions by the applicant, including the commencement of development before an application for a variance was filed, and does not arise from any condition relating to land or building use on any neighboring property; See site plan that indicates the site is undeveloped and there have been no physical activities on the site or adjacent neighbors that caused the need for the variance.
- 5 The Granting of a variance will not adversely affect water quality or adversely impact fish, wildlife, or plant habitat within the County's critical area or a bog protection area and will be in harmony with the general spirit and intent of the County's critical area program or bog protection program; See the attached site plan, which indicates that stormwater management is being provided which will protect the water quality, wildlife and plant habitats and all other requirements of development in the critical area will be met.
- 6. The applicant for a variance to allow development in the 100-foot upland buffer has maximized the distance between the bog and each structure, taking into account natural features and the replacement of utilities, and has met the requirements of § 17-9-208 of this Code; See the attached site plan, There is no development proposed within a 100 foot shoreline buffer or buffer to a bog.
- 7 The applicant, by competent and substantial evidence, has overcome the presumption contained in the Natural Resources Article, § 8-1808, of the State Code; See the attached site plan, and attachments provided to address the requirements.
- 8 The applicant has evaluated and implemented site planning alternatives in accordance with § 18-16-201(c). See the attached site plan, it utilizes all applicable alternatives, there being none that meet the objectives of the applicant.
 - (c) Requirements for all variances. A variance may not be granted unless it is found that:
- (1) the variance is the minimum variance necessary to afford relief; and See the attached site plan indicating that the development scope and size is consistent with the neighboring properties.
 - (2) the granting of the variance will not:
- (i) alter the essential character of the neighborhood or district in which the lot is located. See the attached exhibit of the surrounding properties that demonstrates the development is consistent with the character of the immediate neighborhood in which the lot is located.
- (ii) substantially impair the appropriate use or development of adjacent property; See the attached site plan that indicates there is no impact on adjacent properties.
- (iii) reduce forest cover in the limited development and resource conservation areas of the critical area; See the attached site plan that indicates the forest removal that is consistent with the neighborhood and reforestation fees will be paid.
- (iv) be contrary to acceptable clearing and replanting practices required for development in the critical area or a bog protection area; nor See the attached site plan, which has been prepared to meet the acceptable clearing and replanning practices.
- (v) be detrimental to the public welfare. See the attached site plan, which indicates that stormwater management is being provided which will protect the water quality, wildlife and plant habitat.

If there are any questions or additional information is needed, please contact this office at (410) 626-1070.

Michael Helfrich, P.

Sincerely

Note 1: There was a denial on lot 86 (not a lot in this request), was appealed (BA14-22V); that upheld the

2018 VEGETATIVE ESTABLISHMEN

FOLLOWING INITIAL SOIL DISTURBANCES OR REDISTURBANCE. PERMANENT OR TEMPORARY STABILIZATION SHALL BE COMPLETED WITHIN THREE CALENDAR DAYS FOR THE SURFACE OF ALL PERIMETER CONTROLS. DIKES SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND SEVEN DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE.

PERMANENT SEEDING A. SOIL TESTS: LIME AND FERTILIZER WILL BE APPLIED PER SOIL TESTS RESULTS FOR SITES GREATER THAN 5 ACRES. SOIL TESTS WILL BE DONE AT OMPLETION OF INITIAL ROUGH GRADING OR AS RECOMMENDED BY THE EDIMENT CONTROL INSPECTOR, RATES AND ANALYSES WILL BE PROVIDED THE GRADING INSPECTOR AS WELL AS THE CONTRACTOR. OCCURRENC OF ACID SULFATE SOILS (GRAYISH BLACK COLOR) WILL REQUIRE COVERING THE A MINIMUM OF 12 INCHES OF CLEAN SOIL WITH 6 INCHES MINIMUM CAPPING OF TOP SOIL. NO STOCKPILING OF MATERIAL IS ALLOWED. IF NEEDED, SOIL TESTS SHOULD BE DONE BEFORE AND AFTER A 6-WEEK NCUBATION PERIOD TO ALLOW OXIDATION OF SULFATES. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE

a. SPOIL PH SHALL BE BETWEEN 6.0 AND 7.0. b. SOLUBLE SALTS SHALL BE LESS THAN 500 PARTS PER MILLION (PPM). THE SOIL SHALL CONTAIN LESS THAN 40% CLAY BUT ENOUGH FINE BRAINED MATERIAL (>30% SILT PLUS CLAY) TO PROVIDE THE CAPACITY TO HOLD A MODERATE AMOUNT OF MOISTURE. AN EXCEPTION IS IF LOVEGRASS OR SERECIA LESPEDEZA IS TO BE PLANTED, THEN A SANDY SOIL (<30% SILT

ESTABLISHMENT ARE:

PLUS CLAY) WOULD BE ACCEPTABLE. d. SOIL SHÁLL CONTAIN 1.5% MINIMUM ORGANIC MATTER BY WEIGHT. e. SOIL MUST CONTAIN SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION

IF THESE CONDITIONS CANNOT BE MET BY SOILS ON SITE. ADDING OPSOIL IS REQUIRED IN ACCORDANCE WITH THE STANDARD AND PECIFICATION FOR SOIL PREPARATION, TOP SOILING AND SOIL MENDMENTS FROM THE 2011 MARYLAND STANDARDS AND SPECIFICATION FOR SOIL FROSION AND SEDIMENT CONTROL OR AMENDMENTS MADE AS ECOMMENDED BY A CERTIFIED AGRONOMIS

B. SEEDBED PREPARATION: AREA TO BE SEEDED SHALL BE LOOSE AND

RIABLE TO A DEPTH OF AT LEAST 3-5 INCHES. THE TOP LAYER SHALL BE OOSENED BY RAKING. DISKING OR OTHER ACCEPTABLE MEANS BEFOR EEDING OCCURS. FOR SITES LESS THAN 5 ACRES. APPLY 100 POUNDS OF DOLOMITIC LIMESTONE AND 21 POUNDS OF 10-10-10 FERTILIZER PER 1.000 SO ET HARROW OR DISK LIME AND FERTILIZER INTO THE SOIL TO A DEPTH OF AT LEAST 3-5 INCHES ON SLOPES FLATTER THAN 3:1 SEEDING: APPLY 5-6 POUNDS PER 1,000 SQ, FT, OF TALL FESQUE BETWEEN FEBRUARY 1 AND APRIL 30 OR BETWEEN AUGUST 15 AND OCTOBER 31 APPLY SEED LINIFORMLY ON A MOIST FIRM SEEDBED WITH A YCLONE SEEDER, CLILTIPACKER SEEDER OR HYDRO SEEDER (SLLIBRY NCLUDES SEEDS AND FERTILIZER RECOMMENDED ON STEEP SLOPES. ONLY). MAXIMUM SEED DEPTH SHOULD BE 1/4 INCH IN CLAYEY SOILS AND /2 INCH IN SANDY SOILS WHEN USING OTHER THAN THE HYDRO SEEDER METHOD. IRRIGATE WHERE NECESSARY TO SUPPORT ADEQUATE GROWTH UNTIL VEGETATION IS FIRMLY ESTABLISHED. IF OTHER SEED MIXES ARE TO USED, SELECT FROM TABLE B3 AND B5 OF THE 2011 MARYLAND

D. MULCHING: MULCH SHALL BE APPLIED TO ALL SEEDED AREAS MMEDIATELY AFTER SEEDING. DURING THE TIME PERIODS WHEN SEEDING I NOT PERMITTED. MULCH SHALL BE APPLIED IMMEDIATELY AFTER GRADING JLCH SHALL BE UNROTTED. UNCHOPPED. SMALL GRAIN STRAW APPLIED AT A RATE OF 2 TONS PER ACRE OR 90 POUNDS PER 1,000 SQ. FT. (2 BALES PPLY MULCH TO ACHIEVE A UNIFORM DISTRIBUTION AND DEPTH SO THAT THE SOIL SURFACE IS NOT EXPOSED. IF A MULCH ANCHORING TOOL IS JSED, APPLY 2.5 TONS PER ACRE. MULCH MATERIALS SHALL BE RELATIVELY FREE OF ALL KINDS OF WEEDS AND SHALL BE COMPLETELY FREE OF PROHIBITED NOXIOUS WEEDS. SPREAD MULCH UNIFORMLY. MECHANICALL

FANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT

OR BY HAND, TO A DEPTH OF 1-2 INCHES. E. SECURING STRAW MULCH: STRAW MULCH SHALL BE SECURED IMMEDIATELY FOLLOWING MULCH APPLICATION TO MINIMIZE MOVEMENT B WIND OR WATER THE FOLLOWING METHODS ARE PERMITTED: (I) USE A MULCH ANCHORING TOOL WHICH IS DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE TO A MINIMUM DEPTH OF 2 INCHES. THIS IS THE MOST EFFECTIVE METHOD FOR SECURING MULCH. HOWEVER. IT IS LIMITED TO RELATIVELY FLAT AREAS WHERE EQUIPMENT CA

DPERATE SAFELY. (II) WOOD CELLULOSE FIBER MAY BE USED FOR ANCHORING STRAW, APPLY THE FIBER BINDER. AT A NET DRY WEIGHT OF 750 POUNDS PER ACRE. IF MIXED WITH WATER, USE 50 POUNDS OF WOOD CELLULOSE FIBER PER 100 GALLONS OF WATER.

(III) LIQUID BINDERS MAY BE USED. APPLY AT HIGHER RATES AT THE EDGES WHERE WIND CATCHES MULCH, SUCH AS IN VALLEYS AND ON CRESTS OF SLOPES. THE REMAINDER OF THE AREA SHOULD APPEAR UNIFORM AFTER BINDER APPLICATION. BINDERS LISTED IN THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL OR APPROVED EQUAL SHALL BE APPLIED AT RATES RECOMMENDED BY THE

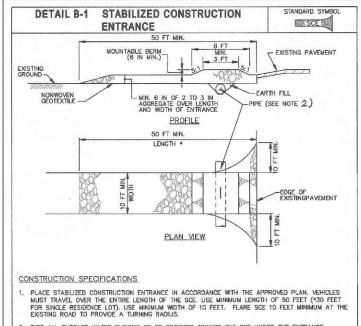
IV) LIGHTWEIGHT PLASTIC NETTING MAY BE USED TO SECURE MULCH. THE MANUFACTURER'S RECOMMENDATIONS 2 TEMPORARY SEEDING. a. LIME: 100 POUNDS OF DOLOMITIC LIMESTONE PER 1.000 SQ. FT.

b FERTILIZER: 15 POUNDS OF 10-10-10 PER 1 000 SQ. FT. c. SEED: PERENNIAL RYE - 0.92 POUNDS PER 1,000 SQ. FT. (FEB. 1 THROUGH APRIL 30 OR AUG. 15 THROUGH OCT. 31). MILLET - 0.92 POUNDS PER 1,000 SQ. FT. (MAY 1 THROUGH AUGUST 15) d. MULCH: SAME AS 1 D AND E ABOVE

3. NO FILLS MAY BE PLACED ON FROZEN GROUND. ALL FILL IS TO BE PLACED IN APPROXIMATELY HORIZONTAL LAYERS, EACH LAYER HAVING A LOOSE THICKNESS OF NOT MORE THAN 8INCHES. ALL COMPACTION REQUIREMENTS ARE IN ACCORDANCE TO ANNE ARUNDEL COUNTY TANDARD SPECIFICATIONS FOR CONSTRUCTION AS WELL AS THE AA DUNTY DESIGN MANUAL AND STANDARD DETAILS. FILLS FOR POND MBANKMENTS SHALL BE COMPACTED AS PER MD-378 CONSTRUCTION SPECIFICATIONS. ALL OTHER FILLS SHALL BE COMPACTED SUFFICIENTLY SO AS TO BE STABLE AND PREVENT EROSION AND SLIPPAGE. . PERMANENT SOD: INSTALLATION OF SOD SHOULD FOLLOW PERMANENT SEEDING DATES, SEEDBED PREPARATION FOR SOD SHALL BE AS NOTED IN SECTION (B) ABOVE, PERMANENT SOD IS TO BE TALL FESCUE, STATE APPROVED SOD, LIME AND FERTILIZER PER PERMANENT SEEDING SPECIFICATIONS AND LIGHTLY IRRIGATE SOIL PRIOR TO LAYING SOD. SOD I TO BE LAID ON THE CONTOUR WITH ALL ENDS TIGHTLY ABUTTING. JOINTS. ARE TO BE STAGGERED RETWEEN ROWS, WATER AND ROLL OR TAMP SOD TO INSURE POSITIVE ROOT CONTACT WITH THE SOIL ALL SLOPES STEEPER THAN 3:1 AS SHOWN ARE TO BE PERMANENTLY SODDED OR PROTECTED. WITH AN APPROVED EROSION CONTROL NETTING. ADDITIONAL WATERING FOR ESTABLISHMENT MAY BE REQUIRED. SOD IS NOT TO BE INSTALLED ON FROZEN GROUND. SOD SHALL NOT BE TRANSPLANTED WHEN MOISTURE CONTENT (DRY OR WET) AND/OR EXTREME TEMPERATURE MAY ADVERSELY FFECT ITS SURVIVAL. IN THE ABSENCE OF ADEQUATE RAINFALL, IRRIGATION SHOULD BE PERFORMED TO INSURE ESTABLISHMENT OF SOD. MINING OPERATIONS: SEDIMENT CONTROL PLANS FOR MINING

DPERATIONS MUST INCLUDE THE FOLLOWING SEEDING DATES ANI MIXTURES: FOR SEEDING DATES OF FEBRUARY 1 THRU APRIL 30 AND AUGUST 15 THROUGH OCTOBER 31. USE SEED MIXTURE OF TALL FESCUE A THE RATE OF 2 POUNDS PER 1,000 SQ. FT. AND SERICEA LESPEDEZA AT THE MINIMUM RATE OF 0.5 POUNDS PER 1,000 SQ. FT . TOPSOIL SHALL BE APPLIED AS PER THE STANDARD AND SPECIFICATIONS FOR SOIL PREPARATION, TOP SOILING AND SOIL AMENDMENTS FROM THE

2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL 7. USE OF THESE VEGETATIVE ESTABLISHMENT SPECIFICATIONS DOES NOT PRECLUDE THE PERMITTEE OR CONTRACTOR FROM MEETING ALL OF THE REQUIREMENTS SET FORTH IN THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL FROSION AND SEDIMENT CONTROL



PREPARE SUBGRADE AND PLACE NONWOVEN GEOTEXTILE, AS SPECIFIED IN SECTION H-1 MATERIALS PLACE CRUSHED AGGREGATE (2 TO 3 INCHES IN SIZE) OR EQUIVALENT RECYCLED CONCRETE (WITHOUT REBAR) AT LEAST 6 INCHES DEEP OVER THE LENGTH AND WIDTH OF THE SCE. I. MAINTAIN ENTRANCE IN A CONDITION THAT MINIMIZES TRACKING OF SEDIMENT. ADD STONE OR MAKE OTHER REPAIRS AS CONDITIONS DEMAND TO MAINTAIN CLEAN SURFACE, MOUNTABLE BERM, AND SPECIFIED DIMENSIONS. IMMEDIATELY REMOVE STONE AND/OR SEDIMENT SPILLED, RORPPED, OR TRACKED ONTO ADDACENT ROADWAY BY VACUUMING, SCRAPING, AND/OR SWEEPING. WASHING ROADWAY TO REMOVE MUD TRACKED ONTO PAVEMENT IS NOT ACCEPTABLE UNLESS WASH WATER IS DIRECTED TO AN APPROVED SEDIMENT CONTROL PRACTICE.

MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE 2011 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

I (WE) CERTIFY THAT:

A. ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE IN ACCORDANCE WITH THIS SEDIMENT AND EROSION CONTROL PLAN AND FURTHER, AUTHORIZE THE RIGHT OF ENTRY FOR PERIODIC ON-SITE EVALUATION BY THE ANNE ARUNDEL SOIL CONSERVATION DISTRICT (AASCD) BOARD OF SUPERVISORS OR THEIR AUTHORIZED

B. ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE FROM THE MARYLAND DEPARTMENT OF THE ENVIRONMENT'S APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT.

C. IF APPLICABLE, THE APPROPRIATE ENCLOSURE WILL BE CONSTRUCTED AND MAINTAINED ON SEDIMENT BASIN(S) INCLUDED IN THIS PLAN. SUCH STRUCTURE(S) WILL BE IN COMPLIANCE WITH THE ANNE ARUNDEL COUNTY CODE

2. THE DEVELOPER IS RESPONSIBLE FOR THE ACQUISITION OF ALL FASEMENTS RIGHT AND/OR RIGHTS-OF-WAY THAT MAY BE REQUIRED FOR THE SEDIMENT AND EROSION CONTROL PRACTICES TORMWATER MANAGEMENT PRACTICES AND THE DISCHARGE OF STORMWATER ONTO OR ACROSS ADJACENT OR DOWNSTREAM PROPERTIES INCLUDED IN THIS PLAN.

3. FOR INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANEN' AND/OR TEMPORARY STABILIZATION PER THE AASCD VEGETATIVE ESTABLISHMENT SHALL BE COMPLETED WITHIN THREE CALENDAR DAYS FOR THE SURFACE OF ALL CONTROLS, DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES GREATER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1) AND SEVEN DAYS FOR ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE 4. THE GRADING AND SEDIMENT CONTROL APPROVAL ON THIS PLAN

THE APPROVAL OF THIS PLAN FOR SEDIMENT AND EROSION CONTROL DOES NOT RELIEVE THE DEVELOPER/CONSULTANT FROM COMPLYING WITH FEDERAL, STATE OR COUNTY REQUIREMENTS PERTAINING TO ENVIRONMENTAL ISSUES.

EROSION CONTROL INSPECTOR APPROVE WORK COMPLETED IN ACCORDANCE WITH THE APPROVED EROSION AND SEDIMENT CONTROL PLAN. THE GRADING PERMIT. AND THE ORDINANCE. . ALL MATERIAL SHALL BE TAKEN TO A SITE WITH AN APPROVED SEDIMENT AND EROSION CONTROL PLAN

EROSION CONTROL INSPECTOR SHALL BE REQUIRED UPON COMPLETION OF THE INSTALLATION OF FROSION AND SEDIMENT CONTROLS PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING, OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THE INITIAL APPROVAL BY THE SEDIMENT AND EROSION CONTROL INSPECTOR IS GIVEN INSPECTIONS AND PERMITS MAY ALSO REQUIRE THAT AN INSPECTION AND CERTIFICATION OF THE INSTALLATION OF SEDIMENT CONTROL ALSO BE PERFORMED BY A DESIGN PROFESSIONAL PRIOR

9. APPROVAL FROM THE INSPECTOR MUST BE REQUESTED ON FINAL TABILIZATION OF ALL SITES PRIOR TO REMOVAL OF SEDIMENT AND FROSION CONTROLS. 10. EXISTING TOPOGRAPHY MUST BE FIELD VERIFIED BY

RESPONSIBLE PERSONNEL TO THE SATISFACTION OF THE SEDIMENT CONTROL INSPECTOR PRIOR TO COMMENCING WORK

PRINT:KYLE SQUIRE AME: CHESSIE HOME

"THE DEVELOPER'S PLAN TO CONTROL SILT AND EROSION IS

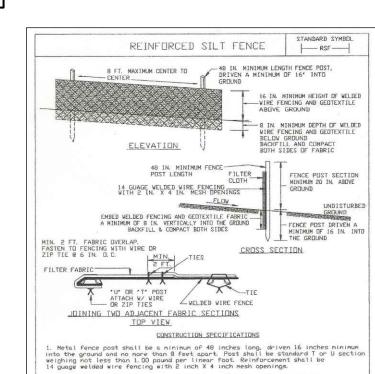
CERTIFY THAT THIS PLAN OF EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THIS SITE, AND WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ANNE ARUNDEL SOIL CONSERVATION DISTRICT PLAN SUBMITTAL GUIDELINES AND THE CURRENT MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL. I HAVE REVIEWED THIS EROSION AND SEDIMENT CONTROL PLAN WITH THE

MD P.E. LICENSE #155 MD LANDSCAPE ARCHITECT #

NAME: MICHAEL HELFRICH <u> IRM: GAMMA ENGINEERING</u> STREET ADDRESS: 1203 SUITE A WEST STREET, ANNAPOLIS, MD 214

OUTFALL STATEMENT

THIS IS TO CERTIFY THAT A FIELD INVESTIGATION OF THE PROPERTY SHOWN HEREON FOR DEVELOPMENT HAS BEEN PERFORMED. THA THIS FIELD INVESTIGATION FOUND THAT THE STORMWATER RUNOFF GENERATED FROM THE PROPOSED HOUSE, DRIVEWAY AND SIDEWALK WILL BE TREATED W/ESD PRACTICES. THE RUNOFF FLOWS TO GRASS LAWN, FORESTED AREA AND THEN ULTIMATELY TO A STABLE OUTFALL. THIS OUTFALL APPEARS TO BE SUFFICIENT. FURTHER, IT WAS DETERMINED THAT EROSION, SEDIMENTATION, AND/OR FLOODING IS NOT OCCURRING AND SHALL NOT OCCUR AS RESULT OF THE CONSTRUCTION OF THIS DEVELOPMENT PROVIDED. THAT THE CONSTRUCTION OF THIS DEVELOPMENT IS IN ACCORDANCE WITH THESE PLANS AND THE ANNE ARUNDEL COUNT MARYLAND DETAILS AND SPECIFICATIONS STANDARDS.



3. Use a waven geotextile, as specified in section H-1 materials, and fasten to th upslope side of the fence posts with wire or zip ties at top and midsection. The Manufacturer's certification that the fabric meets the requirements in section H-1 must be made available to the inspection/enforecment authority. Extend both ends of reinforced silt fence a minimum of five (5) horizontal fe upslope at 45 degrees to the main fence alignment to prevent runoff from going around the ends. Remove accumulated sediment and debris when bulges develop in the reinforced lit fence fabric or when sediment reaches 25% of the fence height Replace patextile if tarm If undermining occurs, reinstall fence. ANNE ARUNDEL SUIL
CUNSERVATION DISTRICT 2015

STANDARD RESPONSIBILITY NOTES

LEGEND

NON-TIDAL WETLAND

PROPOSED PERC —

EXISTING ELEVATION -

PROPOSED ELEVATION -

EXISTING CONTOUR -

PROPOSED CONTOUR

SUPER SILT FENCE —

STABILIZED

EXISTING TREE

EXISTING TREE

(TO BE REMOVED) TBR

PROPOSED TREELINE

EXISTING PAVING

EXISTING GRAVEL

PROPOSED GRAVEL

LIMITS OF 25% SLOPE

LIMITS OF 15% SLOPE

>15% UP TO 25% SLOPES -

FOREST CONSERVATION EASEMENT -

INDICATES

PROP TEMPORARY

STOCKPILE AREA

2:1 SIDE SLOPES

EXISTING TREE CANOPY -

CHESSIE HOMES (LOTS 84 AND 85

250 HARLEM ROAD

PASADENA, MD 21122

10,000 SQ. FT. SEPTIC AREA -

EXISTING EDGE OF FORESTED AREA -

EXISTING GRAVEL TO BE REMOVED -

REINFORCED SILT FENCE

LIMITS OF DISTURBANCE

CONSTRUCTION ENTRANCE

EXISTING BACKHOE TEST PIT —

NTW __NTW

_LOD ___

SCE

RESPONSIBLE PERSONNEL ON SITE:

EXTENDS ONLY TO THOSE AREAS WITHIN THE LIMITS OF

6. THE DEVELOPER MUST REQUEST THAT THE SEDIMENT AND

8. FIRST PHASE INSPECTION AND APPROVAL OF THE SEDIMENT AND

O CONSTRUCTION COMMENCING

ADDRESS: 250 HARLEM ROA

IAIL ADDRESS: CHESSIEHOMES@GM/

CONSULTANT'S CERTIFICATION

QUATE TO CONTAIN THE SILT AND EROSION ON THE PROPERTY

OWNER/DEVELOPER." MD LAND SURVEYOR LICENSE #

STORMWATER MANAGEMENT DATA FORM v1.1/2020

Project Table for Each Drainage Area Permit Number | G0201 Project Number Project Name Lots 84 and 85 StructureAddress 128 Cresston Roa Structure City Arnold Structure Zip Total Drainage Are RCN - Pre Construction RCN - Post Construction Total Number of PE Required (see Note 1) PE Addressed (see MD 8-Digit HUC (see USGS 12-Digit HUC Blank - County Use

SCALE: NONE

For Each Pr	ractice in the Drainage Area			New development (NEWD), Redvelopment (REDE),										
		E, S, or A		or Restoration (REST)		MDP Code						New		New
							DEVICE	IMPERVIOUS AREA	IMPERVIOUS ACRES	MD NORTH		WQV	enance Responsibility	
		MDE BMP	MDE BMP	CONSTRUCTION			DRAINAGE	DRAINING TO DEVICE	RESTORED (See Note	COORD	MD EAST COORD	(ft3) (See		
STORM_ID	STRU_NAME	CLASS	TYPE	PURPOSE	ON or OFF SITE	LAND USE	AREA (acres)	(Square feet)	3)	(NAD83 - FT)	(NAD83 - FT)	Note 5)		Comments
Blank - County Use	mîcro drywell	E	MMBR	NEWD	ON	12	0.02	760	0.02	507188	1448973	144 Indîvî	dual Homeowner(Residential)	
Blank - County Use	mîcro drywell	E	MMBR	NEWD	ON	12	0.02	720	0.02	507180	1448990	144 Indîvî	dual Homeowner(Residential)	
		•	•	•			•	•			•			

Approved By

REVISIONS

Description

1203 WEST STREET SUITE A ANNAPOLIS, MD 21401

PHONE (410) 626-1070 FAX (410) 267-8619 EMAIL: BLUPT@ICLOUD.COM

ENGINEERING

OWNER:

250 HARLEM ROAD

PASADENA, MD 21122

LOT COVERAGE TABLE

COV. PORCH TYPICAL GRAVEL SIDEWALK CONCRETE 100 WOOD W/GAPS (LOT COVERAGE 1,974 SQ. FT. / 5,906.52 SQ. FT. = 33.4% OF SITE

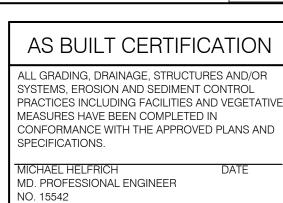
BENCHMARK DATA

. THE COORDINATES, BEARINGS, AND ELEVATION SHOWN HEREON ARE BASED ON THE MARYLAND SYSTEM OF PLANE COORDINATES NAD 83/91 AS ESTABLISHED FROM ANNE ARUNDEL COUNTY OFFICE OF PLANNING AND ZONING 2. THE VERTICAL CONTROL USED IN NGVD 29. RAVERSE STATION: STATION 1237: ELEV. 50.29, N505,747,000, E1,449,468,384, BEING A 5/8 INCH IRC BAR SET 8.60' OFF NORTH EDGE OF W.B.L. OF COLLEGE PARKWAY 1800 ± EAST OF RITCHIE HW

STORMWATER MANAGEMENT RECORD DRAWING CERTIFICATION

THIS CERTIFIES TO THE BEST OF MY PROFESSIONAL BELIEF AND KNOWLEDGED, THE APPROVED S.M.W. SYSTEM(S) AS SHOWN HEREON HAVE BEEN CONSTRUCTED IN SUCH A MANNER THAT WOULD BE CONSISTENT WITH THE APPROVED PLANS. ANY CHANGES/MODIFICATIONS ARE SHOWN IN RED.

MICHAEL HELFRICH



OVERALL ONSITE AREA TABULATION

. THE TOTAL AREA OF SITE IS 5,906.52 SQ. FT. OR 0.14 AC. 2. THE LIMITS OF DISTURBANCE AREA IS 4,385 SQ. FT.OR 0.10 AC 3. AREA MECHANICALLY STABILIZED IS 1.974 SQ. FT. OR 0.05 AC. 4. AREA VEGETATIVELY STABILIZED IS 2,411 SQ. FT. OR 0.05 AC. 5. EX. SITE FORESTED AREA = 5,397 SQ. FT. 3,906 SQ. FT. OF FORESTED AREA TO BE CLEARED. NO ONSITE

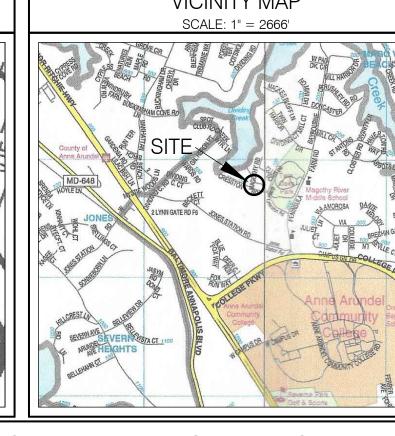
REFORESTATION AREA AVAILABLE. FEES TO BE PAID. \$1.50 x 3,906

= \$5,859.00				
6.THE LOT IMPI	ERVIOUS 1	TABULATION IN	N SQ. FT. IS:	
		EX. TO BE		
	EX.	REMOVED	PROPOSED	TOTAL
HOUSE	0	0	1,480	1,480
COV. PORCH	0	0	64	64
DRIVEWAY	0	0	418	418
SIDEWALK	0	0	12	12
TOTAL	0	0	1,974	1,974
	0% OF S	SITE		33.4% OF SITE
7. STORMWATE	R MANAG	EMENT TO BE	PROVIDED VIA	ESD PRACTICES

VARIANCES/MODIFICATIONS

A CRITICAL AREA VARIANCE - TO ALLOW DISTURBANCE OF (>15%) (ARTICLE 17-8-201(a)) = 1,371 SQ. FT.

SCALE: 1" = 200'



STORMWATER MANAGEMENT NOTE

HIS GRADING PERMIT G02019817 WAS REVIEWED UNDER THE 2010 REGULATIONS FOR TORMWATER MANAGEMENT. STORMWATER MANAGEMENT PRACTICES WILL BE PROVIDED FOR I'HIS SITE IN ACCORDANCE WITH ARTICLE 16, SEC. 4 AND THE FINAL PLAN ON FILE WITH THE OFFICE OF PLANNING AND ZONING. ESD TO THE MEP WAS ACHIEVED THROUGH: MICRO

- . THE ENVIRONMENTAL SITE DESIGN VOLUME IS 100% ADDRESSED, INCLUDING: a. THE RECHARGE VOLUME (Rev) FOR THE ENTIRE SITE VIA MICRO DRYWELLS
- b. THE WATER QUALITY VOLUME (WQv) FOR THE ENTIRE SITE VIA MICRO DRYWELLS
- c. THE CHANNEL PROTECTION VOLUME (Cpv) FOR THE ENTIRE SITE VIA MICRO DRYWELLS
- . OVERBANK FLOOD PROTECTION VOLUME (Qp10) IS NOT REQUIRED. THE OUTFALL HAS ADEQUATE CAPACITY.

3. FLOOD PROTECTION VOLUME Qf IS NOT REQUIRED AS THE DOWNSTREAM ANALYSIS INDICATED HAT THERE WOULD BE NO ELOODING DOWNSTREAM OF THE PROJECT.

STORMWATER MANAGEMENT SUMMARY TABLE IINIMUM SIZING SYMBOL | VOLUME REQUIRED | SWM PRACTICE WATER QUALITY (WQv) 173 SWM PRACTICE OLUME A AND B RECHARGE (Rev) SWM PRACTICE /OLUME A AND B CHANNEL PROTECTION (Qpv) SWM PRACTICE TORAGE VOLUME A AND B (Qp10) **ADEQUATE** OVERBANK FLOOD OUTFALL PROTECTION XTREME N/A LOOD

SEQUENCE OF CONSTRUCTION

OBTAIN ALL NECESSARY PERMITS, CONDUCT A PRE-CONSTRUCTION MEETING; CONTRACTOR TO NOTIFY THE ANNE ARUNDEL COUNTY DEPARTMENT OF INSPECTIONS AND PERMITS AT (410) 222-7780 AT LEAST 48 HOURS PRIOR TO THE START OF DNSTRUCTION. WORK MAY NOT COMMENCE UNTIL THE PERMITEE OR THE RESPONSIBLE PERSONNEL HAVE MET ON-SITE WITH THE SEDIMENT AND EROSION CONTROL INSPECTOR TO REVIEW THE APPROVED PLANS...1 DAY.

DNTRACTOR IS TO ONLY CLEAR/DISTURB THE AREA THAT WILL BE TEMPORARILY TABILIZED BY THE END OF THE WORKING DAY. AFTER EACH RAIN EVENT CONTRACTOR S TO INSPECT/REPAIR ANY SEDIMENT CONTROL MEASURES THAT WERE DAMAGED. THE PERMITEE OR CONTRACTOR SHALL NOT COMMENCE WITH CLEARING OR ANY

EARTH DISTURBANCE ACTIVITIES ON THE SITE DURING OR BEFORE PREDICTED WET WEATHER EVENTS. ONCE SITE WORK BEGINS, CLEARING AND GRUBBING ACTIVITIES SHALL BE FOR THE INSTALLATION AND STABILIZATION OF THE PERIMETER EROSION CONTROL MEASURES ONLY INSTALL STABILIZED CONSTRUCTION ENTRANCE AND ALL SEDIMENT CONTROLS AS SHOWN ON PLAN INO CLEARING OR GRADING IS TO BE DONE EXCEPT WHERE

NECESSARY FOR THE INSTALLATION OF SEDIMENT CONTROLS. AT THE INSPECTOR'S REQUEST LINE THE SUPER SILT FENCE/REINFORCED SILT FENCE WITH 3' BARRIER OF MULCH FOR ADDITIONAL SEDIMENT CONTROL......1 DAY. 3. CONTACT THE INSPECTOR FOR APPROVAL OF THE SEDIMENT CONTROL NSTALLATION. INSPECTIONS AND PERMITS MAY REQUIRE THAT AN INSPECTION AND CERTIFICATION OF THE INSTALLATION OF SEDIMENT CONTROLS ALSO BE PERFORMED BY A DESIGN PROFESSIONAL PRIOR TO CONSTRUCTION COMMENCING........ 1 DAY.

CLEAR. GRUB AND ROUGH GRADE SITE ONLY AS SHOWN WITHIN THE LIMITS OF DISTURBANCE. HAUL ALL DEBRIS TO AN APPROVED SITE*.......1 WEEK. I. INSTALL SEPTIC SYSTEM, WELL OR OTHER UTILITIES AT THIS TIME IF THE ACCESS WILL BE BLOCKED BY BUILDING CONSTRUCTION. ANY SEDIMENT CONTROLS DAMAGED MUST BE REPLACED BY THE END OF THE WORK DAY ... 2 WEEKS. 6. CONSTRUCT PROPOSED FOUNDATION AND ASSOCIATED IMPROVEMENTS. CONSTRUCTION OF THE FIRST FLOOR WALLS OF ANY BUILDING OR STRUCTURE MAY IOT PROCEED UNTIL THE FOUNDATION HAS BEEN BACKFILLED AND ALL DISTURBED

AREAS WITHIN THE LIMITS OF DISTURBANCE HAVE BEEN PERMANENTLY OR TEMPORARILY STABILIZED. A CERTIFICATE MUST BE PROVIDED BY THE ENGINEER TO T INSPECTOR VERIFYING THE GRADES AND DRAINAGE PATTERNS SHOWN ON THE APPROVED EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN OBTAINED...2 WEEKS 7. ONCE THE SITE IS STABILIZED, WITH THE GRADING INSPECTORS APPROVAL, FRAMING MAY COMMENCE ABOVE THE GROUND FLOOR, ALL DISTURBED AREAS MUST BE STABILIZED AT THE END OF EACH BUSINESS DAY. ALL AREAS ARE TO BE VEGETATIVEL' STABILIZED PER THE ANNE ARUNDEL SOIL CONSERVATION DISTRICTS DETAILS AND SPECIFICATIONS FOR VEGETATIVE ESTABLISHMENT...120 DAYS. 8. ONCE UPSTREAM AREAS ARE 95% STABILIZED, INSTALL SWM SYSTEMS AND DEVICES AND/OR PLANTINGS. (SEDIMENT IS TO BE PREVENTED FROM ENTERING SWM SYSTEMS

DURING CONSTRUCTION; INFLOW PIPES TO BE CONNECTED AFTER CONTRIBUTING DRAINAGE AREAS ARE STABILIZED.) THE ENGINEER MUST CERTIFY SWM INSTALLATION 9. FINAL GRADE AND STABILIZE ALL DISTURBED AND AFFECTED AREAS. INSTALL DRIVEWAY TO FINAL SURFACE AND STABILIZE ACCESS WITH CR-6 GRAVEL OR PAVEMENT FROM ACCESS ROAD OR RIGHT-OF-WAY TO THE STRUCTURE...2 DAYS.

10. WITH GRADING INSPECTORS APPROVAL, REMOVE REMAINING SEDIMENT CONTROLS...1 DAY 1. MAINTENANCE..... (ONGOING) FOR LOTS WITH LONG PROPOSED DRIVEWAYS, ADD TO SEQUENCE: "INSTALL

DRIVEWAY TO BASE COURSE PRIOR TO ANY HOUSE CONSTRUCTION."

GENERAL NOTES

. THE PREDOMINANT SOIL TYPE IS COLLINGTON, WIST AND WESTPHALIA SOILS. (HYDROLOGIC SOIL TYPE A)

. FIELD RUN TOPOGRAPHIC SURVEY CONDUCTED ON NOVEMBER 6, 2023 BY STEPHEN H. JUPITZ. 3. ALL SPOIL SHALL BE HAULED TO AN APPROVED SPOIL SITE WITH APPROVED SEDIMENT CONTROL MEASURES. . THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" 48 HOURS PRIOR TO INITIATING CONSTRUCTION.

. VOLUME OF CUT IS 82 C.Y. AND THE VOLUME OF FILL IS 82 C.Y 6. SPLASH BLOCKS SHALL BE PROVIDED AT ALL DOWN SPOUTS. ALL SPLASH BLOCKS SHALL BE OUTLETTED TO FLAT AREAS. THE PROPOSED WORK IS NOT LOCATED WITHIN THE 100 YEAR LOODPLAIN.

8. THE CRITICAL AREA CLASSIFICATION IS LDA. . THE ZONING IS R2. D. THE SITE'S PHYSICAL ADDRESS IS: 128 CRESSTON ROAD,

ARNOLD, MD 21012 1. THE PLAT NUMBER IS 15/35. THE DEED REFERENCE IS @ 36611/224 B. WATER SERVICE AREA IS BROADNECK AND CATEGORY IS EXISTING

SERVICE. SEWER SERVICE AREA IS BROADNECK AND CATEGORY IS EXISTING SERVICE. 4. SITE IS NOT IN THE SEVERN RIVER WATERSHED 5. SITE IS NOT WITHIN ANY BOG DRAINAGE OR IMPACT AREA. SITE IS NOT IN FLOOD ZONE PER FEMA MAP 24003C0167F.

7. SITE IS NOT IN THE BUFFER MODIFICATION AREA.

REQUIRED SITE INFORMATION

. SITE DISTURBED AREA = 4,385 SQ. FT. SEE AREA TABULATION FOF BREAKDOWN . CRITICAL AREA LDA 3. SENSITIVE AREA YES

G0201

128 CRESSTON ROAD, ARNOLD (LOTS 84 AND 85) CRESSTON PARK

TAX MAP 32H, GRID 11, PARCEL 134, TAX ACCT #3225 9025 3246 3RD DISTRICT, ANNE ARUNDEL COUNTY, MD, ZONING R2

SHEET

CHESSIE HOMES (LOTS 84 AND 85)

INDEX

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EXISTING CONDITIONS AND

SITE PLAN, GRADING, SEDIMENT

STORMWATER MANAGEMENT PLA

STORMWATER MANAGEMENT

NOTES, COMPS AND DETAILS

GRADING PERMIT PLANS

OUTFALL STATEMENT, MAPS AND AREA TABULATION

COVER SHEET, GENERAL NOTES,

SCALE: AS SHOWN DATE: 2/15/2024 SHEET 1 OF 6

TYPICAL DRIVEWAY SECTION

6" DEEP CR-6

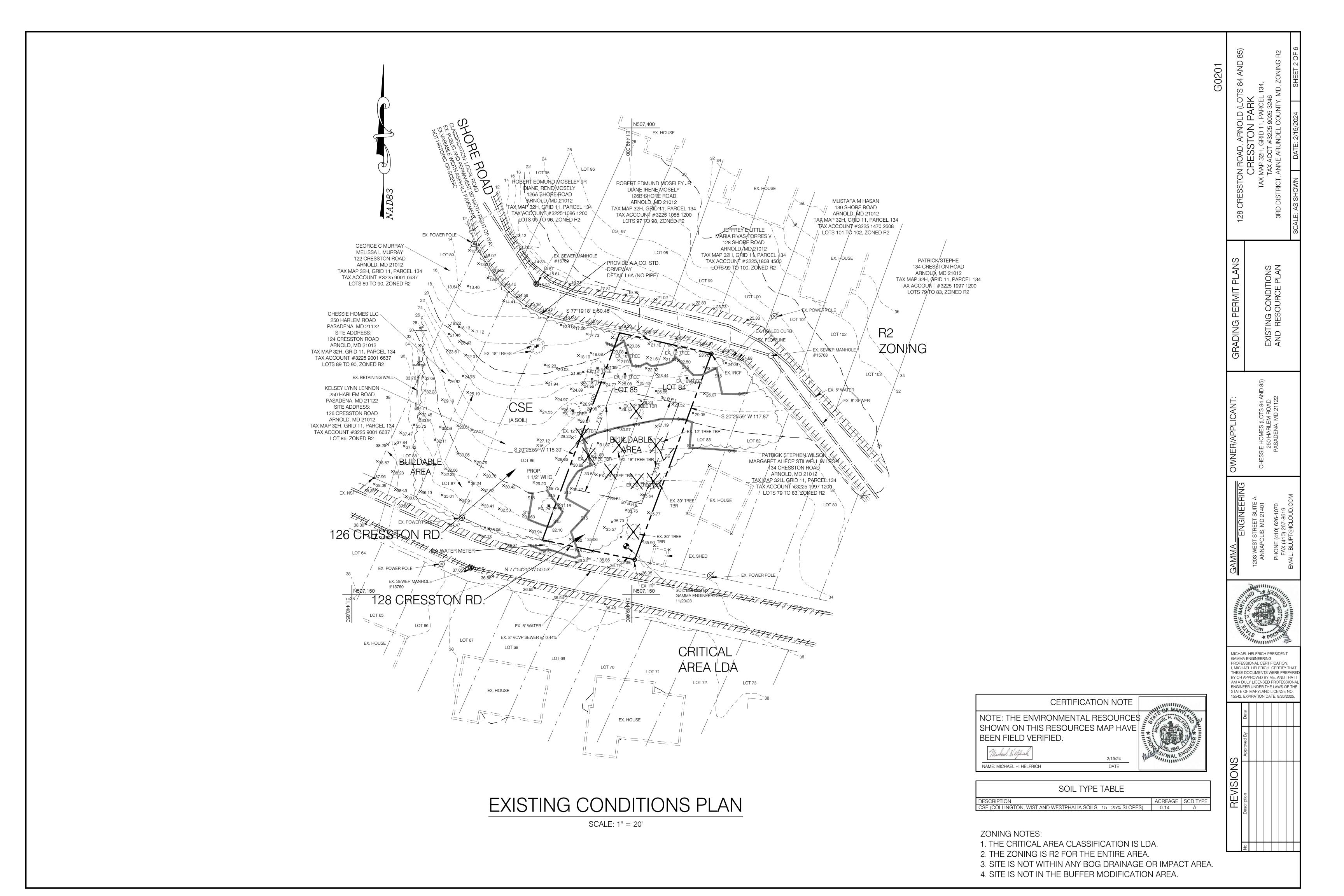
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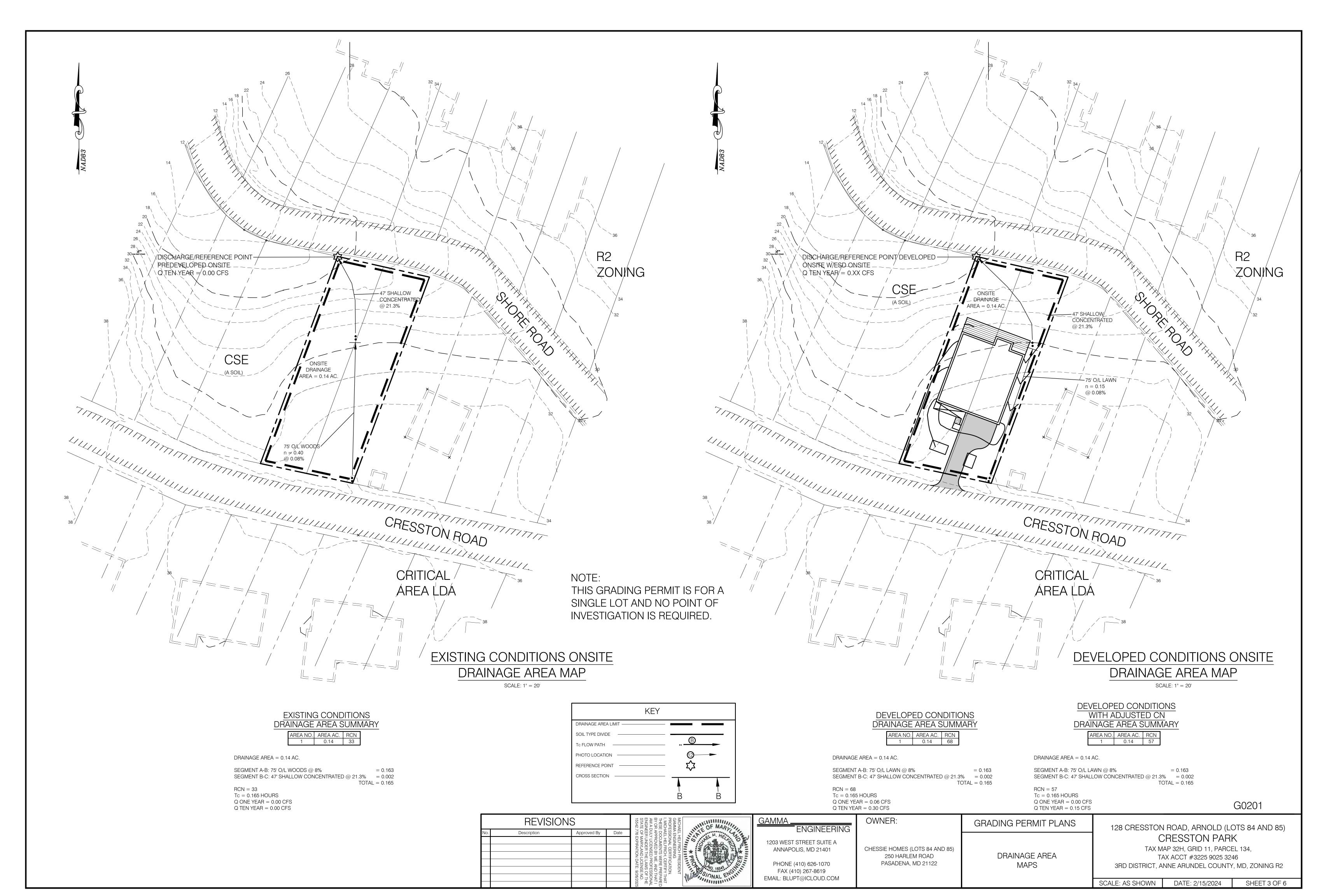
STORMWATER MANAGEMENT

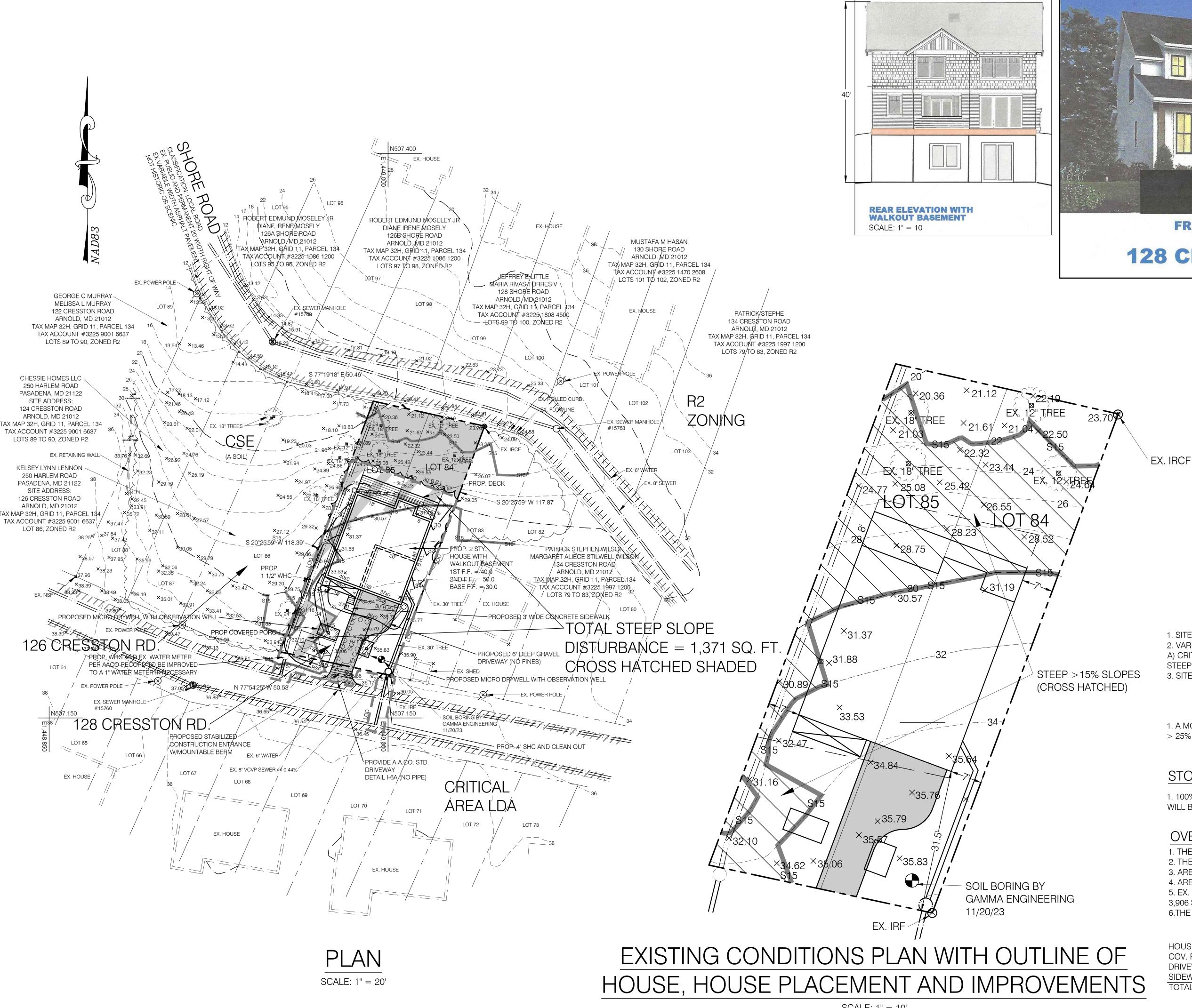
CONCEPT PLAN

LOCATION MAP

SCALE: 1" = 100'









FRONT ELEVATION

128 CRESSTON ROAD

GENERAL NOTES

1. THE PREDOMINANT SOIL TYPE IS COLLINGTON, WIST AND WESTPHALIA SOILS. (HYDROLOGIC SOIL TYPE A) . FIELD RUN TOPOGRAPHIC SURVEY CONDUCTED ON NOVEMBER 6 2023 BY STEPHEN H. JUPITZ.

3. ALL SPOIL SHALL BE HAULED TO AN APPROVED SPOIL SITE WITH APPROVED SEDIMENT CONTROL MEASURES. 4. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY" 48 HOURS PRIOR TO INITIATING CONSTRUCTION. 5. VOLUME OF CUT IS 82 C.Y. AND THE VOLUME OF FILL IS 82 C.Y

6. SPLASH BLOCKS SHALL BE PROVIDED AT ALL DOWN SPOUTS. ALL SPLASH BLOCKS SHALL BE OUTLETTED TO FLAT AREAS. THE PROPOSED WORK IS NOT LOCATED WITHIN THE 100 YEAR

8. THE CRITICAL AREA CLASSIFICATION IS LDA. 9. THE ZONING IS R2. ARNOLD, MD 21012.

1. THE PLAT NUMBER IS 15/35. 12. THE DEED REFERENCE IS @ 36611/224.

5. SITE IS NOT IN FLOOD ZONE PER FEMA MAP 24003C0167F 7. SITE IS NOT IN THE BUFFER MODIFICATION AREA.

VARIANCE NOTES

1. SITE IS R2, LDA CRITICAL AREA. 2. VARIANCES REQUESTED ARE:

A) CRITICAL AREA VARIANCE - TO ALLOW DISTURBANCE OF STEEP SLOPES (>15%) - (ARTICLE 17-8-201(a)) = 1,371 SQ. FT. 3. SITE AREA IS 5,902.52 SQ. FT.

MODIFICATION NOTES

1. A MODIFICATION TO (ARTICLE 17-6-403) TO DISTURB > 25% SLOPES AND BUFFER TO 25% SLOPES IS TO BE REQUESTED

STORMWATER MANAGEMENT NOTE

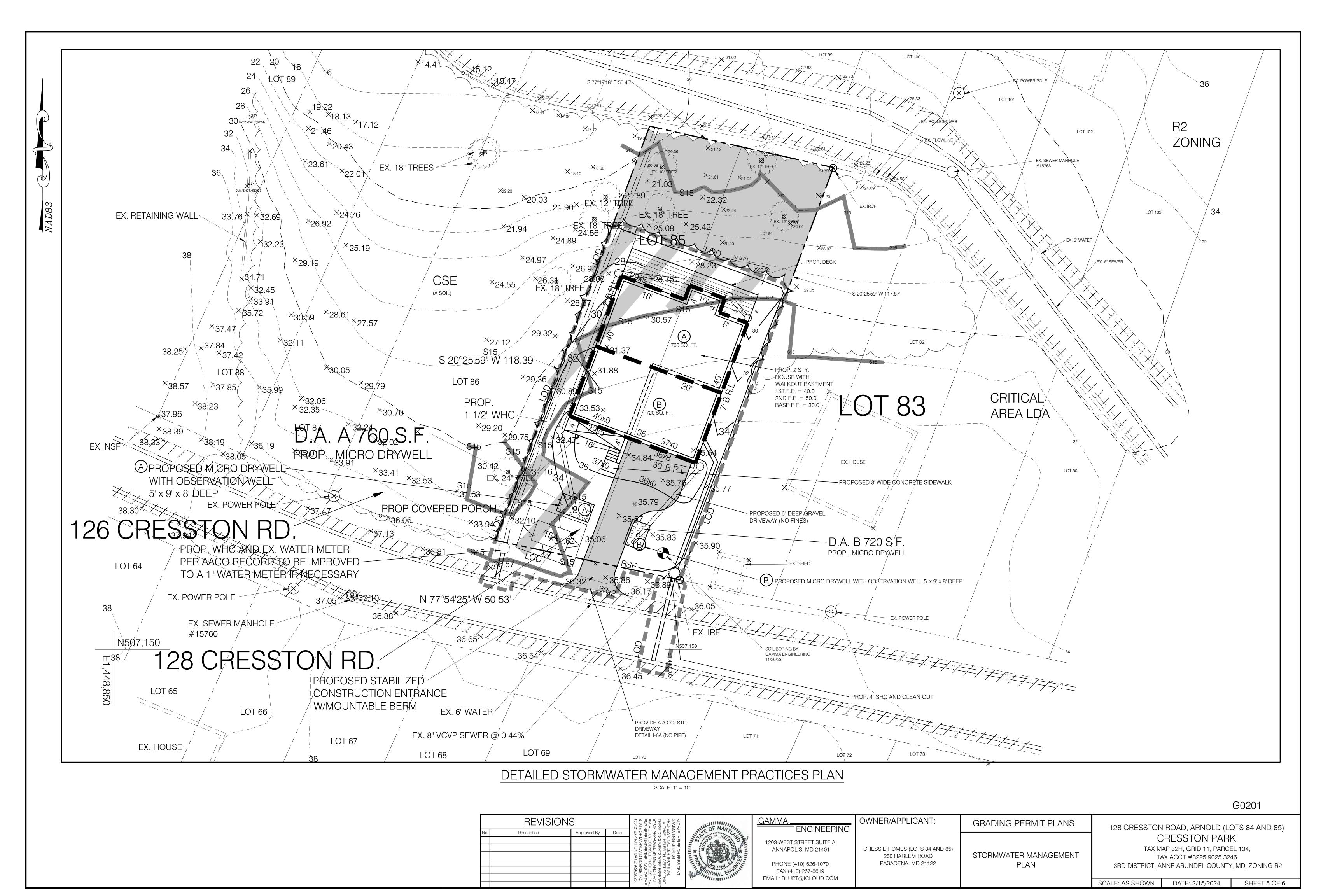
1. 100% OF THE ESD STORMWATER MANAGEMENT REQUIREMENTS WILL BE MET WITH MICRO DRYWELLS.

OVERALL ONSITE AREA TABULATION

1. THE TOTAL AREA OF SITE IS 5,906.52 SQ. FT. OR 0.14 AC. 3. AREA MECHANICALLY STABILIZED IS 1,974 SQ. FT. OR 0.05 AC. 4. AREA VEGETATIVELY STABILIZED IS 2,411 SQ. FT. OR 0.05 AC. 5. EX. SITE FORESTED AREA = 5,397 SQ. FT. 3,906 SQ. FT. OF FORESTED AREA TO BE CLEARED 6.THE LOT IMPERVIOUS TABULATION IN SQ. FT. IS:

		EX. TO BE		
	EX.	REMOVED	PROPOSED	TOTAL
HOUSE	0	0	1,480	1,480
COV. PORCH	0	0	64	64
DRIVEWAY	0	0	418	418
SIDEWALK	0	0	12	12
TOTAL	0	0	1,974	1,974
	0% (OF SITE		33.4% OF SITE

SCALE: 1" = 10'



...Nonstructural and Micro-Scale Practices Chapter 5. Environmental Site Design....

M-5. Dry Wells

A dry well is an excavated pit or structural chamber filled with gravel or stone that provides temporary storage of stormwater runoff from rooftops. The storage area may be constructed as a shallow trench or a deep well. Rooftop runoff is directed to these storage areas and infiltrates into the surrounding soils prior to the next storm event. The pollutant removal capability of dry wells is directly proportional to the amount of runoff that is stored and allowed to infiltrate.

Applications:

Dry wells can be used in both residential and commercial sites and are best suited for treating runoff from small drainage areas such as a single rooftop or downspout. Dry wells are not appropriate for treating runoff from large impervious areas such as a parking lot. Successful application is dependent upon soil type and groundwater elevation.

Performance:

When designed according to the guidance provided below, dry wells will provide treatment for the required ESD_v and Rc_v.

Constraints:

The following constraints are critical when considering the use of dry wells to capture and infiltrate stormwater runoff:

- > Space: Dry wells should not be used in areas where their operation may create a risk for basement flooding, interfere with subsurface sewage disposal systems, or affect other underground structures. There are limited opportunities for dry well implementation in high-
- > Topography: Steep terrain affects the successful performance of a dry well. Installation on slopes greater than 20% should be avoided.
- > Soils: Permeable soils are critical to the successful application of dry wells. The HSG should be A or B. For HSG C or D or compacted soils, designers should consider using practices with underdrains like micro-bioretention.
- ➤ Drainage Area: Small drainage areas (e.g., 500 ft²) are most appropriate for dry well applications. Larger non-residential areas may be treated provided the dry well is sized according to the requirements for infiltration practices found in Section 3.3.
- > Hotspot Runoff: Dry wells should not be used to treat hotspots that generate higher concentrations of hydrocarbons, trace metals, or toxicants than are found in typical stormwater runoff and may contaminate groundwater.
- > Operation: Dry wells are subject to neglect by homeowners. Education is needed to ensure that proper maintenance will allow the system to continue to function properly.

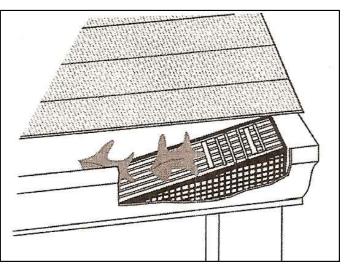
Design Guidance:

The following conditions should be considered when designing dry wells:

- Conveyance: Discharge from the overflow shall be directed to an above ground splash pad and conveyed in a non-erosive manner to a stable outfall. Rooftop runoff is collected through gutters and downspouts and discharged directly into a dry well. The downspout extends underground and across the entire length of a dry well. An overflow pipe is also installed to pass excess runoff generated from larger storms.
- > Treatment: Dry wells shall meet the following conditions:
 - o Pretreatment measures shall be installed to allow filtering of sediment, leaves, or other debris. This may be done by providing gutter screens and a removable filter screen installed within the downspout pipe or other locally-approved method. The removable filter screen should be installed below the overflow outlet and easily removed so that homeowners can clean the filter.
 - o A dry well shall be designed to capture and store the ESD_v. A P_E value based on the ESD_v captured and treated shall be applied to the contributing drainage area. The storage area for the ESD_v includes the sand and gravel layers in the bottom of the facility. Storage calculations shall account for the porosity of the gravel and sand
 - o The drainage area to each dry well shall not exceed 1,000 square feet. Drainage areas should be small enough to allow infiltration into the ground within 48 hours (e.g., 500 ft² to each downspout). Infiltration trenches may be used to treat runoff from larger drainage areas (see Section 3.3).
 - O Dry wells located in HSG B (i.e., loams, silt loams) shall not exceed 5 feet in depth. Dry wells located in HSG A (i.e., sand, loamy sand, sandy loam) shall not exceed 12 feet in depth.
 - o The length of a dry well should be longer than the width to ensure proper water distribution and maximize infiltration.
 - o A one-foot layer of clean sand shall be provided in the bottom of a dry well to allow for bridging between the existing soils and trench gravel.
- Soils: Dry wells shall be installed in HSG A or B. The depth from the bottom of a dry well to the seasonal high water table, bedrock, hard pan, or other confining layer shall be greater than or equal to four feet (two feet on the lower Eastern Shore).

MAINTENANCE SPECIFICATION

THE FOLLOWING ITEMS SHOULD BE ADDRESSED TO ENSURE PROPER MAINTENANCE AND LONG-TERM PERFORMANCE OF MICRO-BIORETENTION PRACTICES: I. PRIVATELY OWNED PRACTICES SHALL HAVE A MAINTENANCE PLAN AND SHALL BE PROTECTED BY EASEMENT, DEED RESTRICTION, ORDINANCE, OR OTHER LEGAL MEASURES PREVENTING ITS NEGLECT, ADVERSE ALTERATION AND REMOVAL. 2. THE TOP FEW INCHES OF FILTER MEDIA SHOULD BE REMOVED AND REPLACED WHEN WATER PONDS FOR MORE THAN 48 HOURS. SILTS $m{I}$ AND SEDIMENT SHOULD BE REMOVED FROM THE SURFACE OF THE FILTER BED WHEN ACCUMULATION EXCEEDS ONE INCH. 3. WHERE PRACTICES ARE USED TO TREAT AREAS WITH HIGHER CONCENTRATIONS OF HEAVY METALS (E.G., PARKING LOTS, ROADS) MULCH SHOULD BE REPLACED ANNUALLY. OTHERWISE, THE TOP TWO TO THREE INCHES SHOULD BE REPLACED AS NECESSARY. 4. OCCASIONAL PRUNING AND REPLACEMENT OF DEAD VEGETATION IS NECESSARY. IF SPECIFIC PLANTS ARE NOT SURVIVING, MORE APPROPRIATE SPECIES SHOULD BE USED. WATERING MAY BE REQUIRED DURING PROLONGED DRY PERIODS.



GUTTER DRAIN FILTER

> Setbacks:

- Ory wells shall be located down gradient of building structures and shall be setback at least 10 feet from buildings, 50 feet from confined water supply wells, 100 feet
- from unconfined water supply wells, and 25 feet from septic systems. O Dry wells shall be setback a minimum of 100 feet from fill slopes of 15% and 200 feet from fill slopes of 25%.
- > Observation Wells: An observation well consisting of an anchored, 4 to 6-inch diameter perforated pipe shall be required. The top of the observation well shall be at least six inches
- > Underground Distribution Pipe: This pipe (4 to 6 inch diameter) will be perforated to fill the trench along its entire length.
- Landscaping: A minimum one-foot of soil cover shall be provided from the top of the trench to the ground surface elevation. The soil should be stabilized with a dense cover of vegetation. In areas where frost heave is a concern, soil cover may need to be as much as four feet. In these cases, a geotechnical engineer should be consulted.

Construction Criteria:

The following items should be addressed during construction of projects with dry wells:

- > Erosion and Sediment Control: Final grading for proposed dry wells should not take place until the surrounding site is completely stabilized. If this cannot be accomplished, runoff from disturbed areas shall be diverted.
- ➤ Soil Compaction: Excavation should be conducted in dry conditions with equipment located outside of the practice to minimize bottom and sidewall compaction. Construction of a dry well shall be performed with lightweight, wide-tracked equipment to minimize disturbance and compaction. Excavated materials shall be placed in a contained area.
- > Underground Chamber: A subsurface prefabricated chamber may be used.
- > Dry Well Bottom: The bottom shall be as level as possible to minimize pooled water in small areas that may reduce overall infiltration and longevity.
- Filter Cloth: Filter cloth shall not be installed on the bottom of the well. Non-woven filter cloth should be used to line the top and sides of the dry well to prevent the pore space between the stones from being blocked by the surrounding native material.
- > Gravel Media: The aggregate shall be composed of an 18 to 48-inch layer of clean washed, open graded material with 40% porosity (e.g., ASTM D448 4,5, or 6 stone or equal).

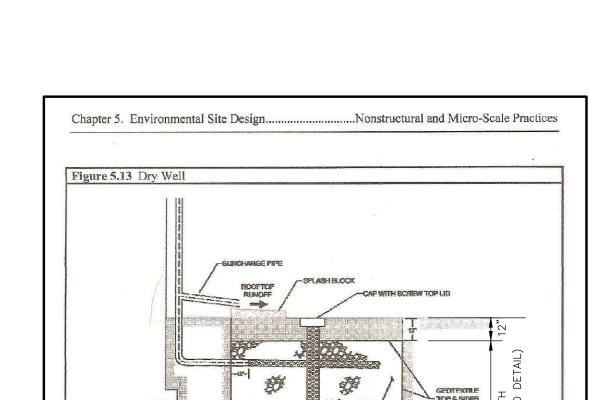
Inspection:

- Regular inspections shall be made during the following stages of construction:
 - During excavation to subgrade.
 - Ouring placement of backfill and perforated inlet pipe and observation well.
 - o During placement of geotextiles and all filter media. o During construction of the appurtenant conveyance.
 - Upon completion of final grading and establishment of permanent stabilization.

Maintenance Criteria:

The following items should be addressed to ensure proper maintenance and long-term performance of dry wells:

- Privately owned practices shall have a maintenance plan and shall be protected by easement, deed restriction, ordinance, or other legal measures preventing its neglect, adverse alteration, and removal.
- > Dry wells shall be inspected and cleaned annually. This includes pipes, gutters, downspouts,
- Ponding, standing water, or algal growth on the top of a dry well may indicate failure due to ition in the gravel media. If water ponds for more than 48 hours after a major storm or more than six inches of sediment has accumulated, the gravel media should be excavated and replaced.



DRYWELL TYPICAL DETAIL

SCALE: NONE

STORMWATER MANAGEMENT GENERAL NOTES

COORDINATES ARE BASED ON THE MARYLAND STATE COORDINATE SYSTEM NAD 83 DATUM PROJECTED BY THE DEPARTMENT OF PUBLIC WORKS OF ANNE ARUNDEL COUNTY, MARYLAND. 2. ELEVATIONS ARE BASED ON THE NAD 83 DATUM PROJECTED BY THE ANNE ARUNDEL COUNTY DEPARTMENT OF PLANNING AND ZONING. 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ANNE ARUNDEL COUNTY DEPARTMENT OF

PUBLIC WORKS STANDARD DETAILS FOR CONSTRUCTION OF STORM DRAINS, ROADS, AND STORMWATER MANAGEMENT, JANUARY 2001

4. NECESSARY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SERVICES AND MAINS, AND ANY DAMAGE TO THEM DUE TO THEIR NEGLIGENCE SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.

5. THE EXISTING UTILITIES AND OBSTRUCTIONS SHOWN ARE FROM THE BEST AVAILABLE RECORDS AND SHALL BE VERIFIED BY THE CONTRACTOR TO HIS OWN SATISFACTION BEFORE STARTING CONSTRUCTION. NEITHER THE OWNER NOR ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS WARRANT OR GUARANTEE THE COMPLETENESS OR THE CORRECTNESS OF THE INFORMATION GIVEN.

6. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO SPECIFICALLY MENTION ANY WORK WHICH WOULD NORMALLY BE REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK. 7. THE CONTRACTOR SHALL NOTIFY BGE, (410) 234-5691, FIVE (5) WORKING DAYS BEFORE

STARTING WORK SHOWN ON THESE DRAWINGS. 8. THE CONTRACTOR SHALL NOTIFY THE C&P TELEPHONE COMPANY, (301) 393-3648, FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS. 9. THE CONTRACTOR SHALL NOTIFY THE ANNE ARUNDEL COUNTY DEPARTMENT OF PLANNING AND ZONING, (410) 222-7780, FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE

10. THE CONTRACTOR SHALL NOTIFY "MISS UTILITY", 1-800-257-7777, FIVE (5) WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS. 1. ALL UTILITY POLES SHALL BE BRACED AS NECESSARY AT THE CONTRACTOR'S EXPENSE. UTILIT POLES SHALL BE RELOCATED AT THE OWNER'S EXPENSE IN CASES WHERE THEY WILL INTERFERE

WITH CONSTRUCTION. 12. PIPE ELEVATIONS REFER TO INVERTS UNLESS OTHERWISE NOTED. 13. ALL STORM DRAIN PIPES ARE REINFORCED CONCRETE PIPE (RCP) UNLESS OTHERWISE NOTED. 14. VERTICAL AND HORIZONTAL CONTROL ARE BASED ON ANNE ARUNDEL COUNTY TRAVERSE

STATION: 1237 N505,747.000 E1,449,468.384 ELEV. 50.29

STORMWATER MANAGEMENT NOTE

THIS GRADING PERMIT G02019817 WAS REVIEWED UNDER THE 2010 REGULATIONS FOR FORMWATER MANAGEMENT. STORMWATER MANAGEMENT PRACTICES WILL BE PROVIDED FOR THIS SITE IN ACCORDANCE WITH ARTICLE 16, SEC. 4 AND THE FINAL PLAN ON FILE WITH THE OFFICE OF PLANNING AND ZONING. ESD TO THE MEP WAS ACHIEVED THROUGH: MICRO

. THE ENVIRONMENTAL SITE DESIGN VOLUME IS 100% ADDRESSED, INCLUDING: a. THE RECHARGE VOLUME (Rev) FOR THE ENTIRE SITE VIA MICRO DRYWELLS

b. THE WATER QUALITY VOLUME (WQv) FOR THE ENTIRE SITE VIA MICRO DRYWELLS

c. THE CHANNEL PROTECTION VOLUME (Cpv) FOR THE ENTIRE SITE VIA MICRO DRYWELLS 2. OVERBANK FLOOD PROTECTION VOLUME (Qp10) IS NOT REQUIRED. THE OUTFALL HAS

ADEQUATE CAPACITY. 8. FLOOD PROTECTION VOLUME Qf IS NOT REQUIRED AS THE DOWNSTREAM ANALYSIS INDICATED HAT THERE WOULD BE NO FLOODING DOWNSTREAM OF THE PROJECT.

STORMWATER MANAGEMENT SLIMMARY TARLE

STURIVIVATER IVIANAGEIVIENT SUIVIIVIART TABLE							
MINIMUM SIZING CRITERIA	SYMBOL	VOLUME REQUIRED (CUBIC FEET)	SWM PRACTICE	NOTES			
WATER QUALITY VOLUME	(WQv)	173	SWM PRACTICE A AND B				
RECHARGE VOLUME	(Rev)	73	SWM PRACTICE A AND B				
CHANNEL PROTECTION STORAGE VOLUME	(Qpv)	30	SWM PRACTICE A AND B				
OVERBANK FLOOD PROTECTION	(Qp10)	994	ADEQUATE OUTFALL				
EXTREME FLOOD	(Qf)	N/A	N/A				

G0201

REVISIONS Approved By Description





GAMMA. ENGINEERING

1203 WEST STREET SUITE A

EMAIL: BLUPT@MSN.COM

ANNAPOLIS, MD 21401 PHONE (410) 626-1070 FAX (410) 267-8619

OWNER/APPLICANT:

CHESSIE HOMES (LOTS 84 AND 85) 250 HARLEM ROAD PASADENA, MD 21122

GRADING PERMIT PLANS

STORMWATER MANAGEMENT NOTES, COMPUTATIONS AND DETAILS

128 CRESSTON ROAD, ARNOLD (LOTS 84 AND 85) CRESSTON PARK

TAX MAP 32H, GRID 11, PARCEL 134, TAX ACCT #3225 9025 3246 3RD DISTRICT, ANNE ARUNDEL COUNTY, MD, ZONING R2

SCALE: AS SHOWN DATE: 2/15/2024 SHEET 6 OF 6



CRITICAL AREA COMMISSION CHESAPEAKE AND ATLANTIC COASTAL BAYS 1804 WEST STREET, SUITE 100 ANNAPOLIS, MD 21401

PROJECT NOTIFICATION APPLICATION

GENERAL PROJECT INFORMATION

Jurisdiction	Anne Arunde	l County			Date:		
Tax Map#	Parcel #	Block#	Lot # 84+85	Section	FOR RESUBMITTAL ONLY Corrections Redesign No Change Non-Critical Area		
Tax ID:	3225-	902 <i>5-3</i>	246		*Complete Only Page 1 General Project Information		
	ne (site name, su	0.0		Cres Rd.	ston Park, Lots 84485		
City A							
Local case r	number						
Applicant:	Last name	Helfr	rch		First name Michael		
Company	Gamm	a Eng	ineenn	g			
Application	Type (check al	l that apply):					
Building Permit							
Local Juriso	liction Contact	Information:					
Last name	AACo Zoning	Administration	n Section	First name			
Phone #	410-222-7437		Respons	se from Com	nission Required ByTBD		
Fax #				Hearing date	TBD		

SPECIFIC PROJECT INFORMATION

Describe Proposed use of project site:							
Disturb Steep Slopes in the Contract Area to construct a SFD							
Γ							
Yes				n 🔲			
ll that app	oly)						
Enter acre	es or square	feet)	4		100000000000000000000000000000000000000		
Acre	es	Sa Ft	Total Distructed Area	Acres	Sq Ft		
C		0	Total Disturbed Are	a (),/0	4,385		
Dil	4 5	C 17			•		
		0	# of Late Created				
0		0	# Of Lots Created				
Trees	Acres 0,12 0 0,089	Sq Ft 5397	Existing Lot Coverage New Lot Coverage Removed Lot Coverage	Acres	Sq Ft 0 1974		
					1974		
VARIANCE INFORMATION (Check all that apply)							
			Buffer Forest Clearing				
			Mitigation				
Variance Type Buffer							
	Yes Yes Acre Ac	Yes	Yes Il that apply)	Yes Growth Allocation Buffer Exemption It that apply)	Yes Growth Allocation Buffer Exemption Area		

Revised 12/14/2006

CRITICAL AREA REPORT

FOR

CRESSTON PARK LOTS 84 & 85

PREPARED BY:

Gamma Engineering 1203 West Street, Suite A Annapolis, MD 21401

FEBRUARY 2024

1203 West Street, Suite A Annapolis, MD 21401 (410)626-1070 Fax (410)267-8619 Email blupt@icloud.com

Critical Area Report
Office of Planning & Zoning
2664 Riva Rd.
Annapolis, MD 21401

February 5, 2024

Applicant: Michael Helfrich

1203 West Street, Suite A Annapolis, MD 21401

Site Address: 128 Cresston Road

Arnold, MD 21012

Lots 84 & 85, Cresston Park

RE: Information required for submission of Critical Area Report

I. Site Description and Explanation: The subject property is Lots 84 & 85 in the subdivision of "Cresston Park". The site contains approximately 5906.52 square feet or 0.14 acres. The site is part of parcel 134 in block 11 of Tax Map 32H. The lot is zoned R-2 and is in the 3rd Assessment District of Anne Arundel County. The lot is in the Critical Area and is designated as a Limited Development Area (LDA).

The applicant is requesting the following variances to allow construction of a single family dwelling:

Article 17-8-201(a):

• A variance to disturb 1,371 sf of steep slopes in the Critical Area

The proposed development will not alter the essential character of the neighborhood, will not impair similar development of adjacent properties, will not significantly reduce forest cover and will not be detrimental to the public welfare. The proposed development will not be inconsistent with the intent of the critical area program.

II. See enclosed site plan for vicinity map.

III. Narrative Statements:

- The proposed construction will have minimal or no effect on water quality. SWM meeting ESD requirements will be provided via infiltration drywells.
- All impervious area for the site will not exceed allowed amounts. There is no existing impervious area on the site. A total of 1,974 sf of impervious area is proposed(33.4%).
- The lot is occupied by invasive English Ivy dominated understory and a canopy of overgrown red and white oak trees. Approximately half of the trees appear to be dead.

There are none of the following designated habitat protection areas on site: riparian forests 300' or more in length, forested blocks greater than 100 acres, or natural heritage areas. The following designated protection areas do not exist on site: non-tidal wetlands, water bird nesting sites, historical waterfowl nesting, staging or concentration areas.

IV. Site Plan

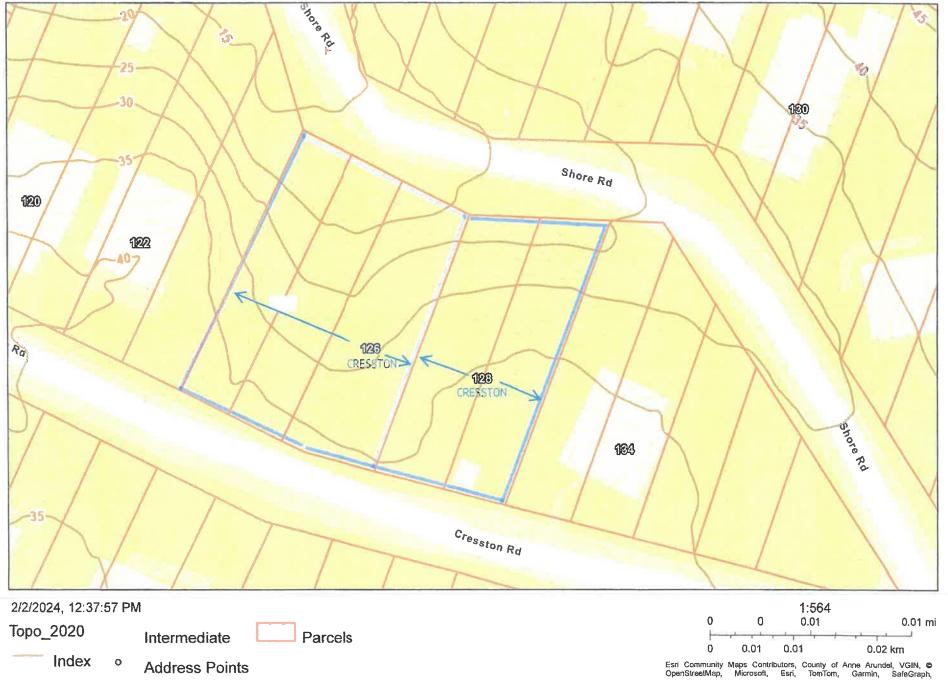
The enclosed site plan shows, if applicable, all of the following: existing vegetated area and all proposed structures. The clearing proposed is as designated, no wetlands disturbance is proposed.

V. See enclosed Notification of Project application.

Sincerely,

Muchael Helfert.
Michael Helfrich, P.E.

Anne Arundel County Engineering Record Drawing and Monuments



CRITICAL AREA COMMISSION CHESAPEAKE AND ATLANTIC COASTAL BAYS 1804 WEST STREET, SUITE 100 ANNAPOLIS, MD 21401

PROJECT NOTIFICATION APPLICATION

GENERAL PROJECT INFORMATION

Jurisdiction	: Anne Arunde	el County			Date:
Tax Map # 32H	Parcel #	Block #	Lot # 84+85	Section	FOR RESUBMIT TAL ONLY Corrections Redesign No Change Non-Critical Area
Tax ID:	3225-	9025-3	246		*Complete Only Page 1 General Project Information
	ne (site name, su				ton Park, Lots 84485
City A	mod	130 C/	esston	Ra.	Zip 2-10/2
Local case r	umber				
Applicant:	Last name	Helfo	rch		First name Michael
Company	Gamm	a Eng	ineeni	19	
Application	Type (check a	ll that apply)	:		
Conditional Consistency	ugement Plan Use Report > 5,000 sq ft			Variance Rezoning Site Plan Special Excep Subdivision Other	tion
Local Juris	diction Contact	Information	:		
Last name	AACo Zoning	Administration	on Section	First name	
Phone #	410-222-7437	7	Respon	se from Comr	nission Required ByTBD
Fax #				Hearing date	TBD

SPECIFIC PROJECT INFORMATION

Describe Proposed use of project site:							
Disturb St	eep 5	lopes i	n the	Contractorea to c	onstruc	+ a SFD	
Intra-Family Transfer Grandfathered Lot	Yes			Growth Allocation Buffer Exemption Ar	Yes		
Project Type (check al	ll that ap	ply)					
Commercial Consistency Report Industrial Institutional Mixed Use Other				Recreational Redevelopment Residential Shore Erosion Contro Water-Dependent Fac			
SITE INVENTORY (I	Enter acr	es or square	feet)				
	Acr	ar	Sq Ft		Acres	Sq Ft	
IDA Area	Act	2	og Ft	Total Disturbed Area	0.10	4385	
LDA Area	D.	146 6					
RCA Area	0.14 5,906.52			W. CY O 1			
Total Area			0	# of Lots Created			
Total Alea)	0				
		Acres	Sq Ft		Acres	Sq Ft	
Existing Forest/Woodland	/Trees	0.12	5397	Existing Lot Coverage	0	Ö	
Created Forest/Woodland/	Trees	0	0	New Lot Coverage		1974	
Removed Forest/Woodlan	d/Trees	0,089	3906	Removed Lot Coverage	0	0	
		5.77	7.00	Total Lot Coverage		1974	
					1	1777	
VARIANCE INFORMATION (Check all that apply) Acres Sq Ft Acres Sq Ft							
Buffer Disturbance				Buffer Forest Clearing	110100	JqIV	
Non-Buffer Disturbance				Mitigation		<u> </u>	
Variance Type Buffer Forest Clearing HPA Impact Lot Coverage Expanded Buffer Nontidal Wetlands Setback Steep Slopes Other		Structure Acc. Structure Addition Barn Deck Dwelling Dwelling C Garage Gazebo Patio Pool Shed					
			O	ther \square			

Revised 12/14/2006



OFFICE OF PLANNING AND ZONING

CONFIRMATION OF PRE-FILE (2024-0004-P & 2024-0005-P)

	DATE OF MEETING:
	P&Z STAFF: <u>Sara Anzelmo, Kelly Krinetz, Habtamu Zeleke</u>
APPLICANT/REPRESENTATIVE: Chessie Homes/Michael F	Helfrich EMAIL: blupt@icloud.com
SITE LOCATION: 128 & 126 Cresston Road	LOT SIZE: _5,906 sf & 11,180 sf ZONING: _ R2
CA DESIGNATION: <u>LDA</u> BMA: <u>N/A</u> or BUFFER:	N/A APPLICATION TYPE: <u>Critical Area Variance</u>

The applicant proposes to construct two single-family dwellings, one of Lots 84 & 85 and one on Lots 86-88. The proposed development would require variances to disturb slopes of 15% or greater. More specifically, the proposed slope disturbance would be 1,371 sf on Lots 84 & 85 and 3,194 sf on Lots 86-88. Note: A previous variance for Lot 86 (2022-0010-V) was denied.

COMMENTS

The Critical Area Team commented that these sites consist of two out of five and three out of five contiguous lots that were originally transferred to Creston Park Realty Company in 1923. The company dissolved in 1958 and all five lots were purchased in January 2021 by Chessie Homes for \$35,000. All five lots are encumbered by slopes ranging from 18% to 35% with a single area of approximately 1800 sq. ft., located in the corner of Lots 84 and 85 that is located outside of the steep slopes and could be suitable for development. It should be noted that all 5 lots are legal lots but not necessarily buildable. As mentioned before, only approximately 1800 sq. ft. of the 5 lots appears to be suitable for development. The five lots should be developed as a single site and any variances or modifications should be to facilitate development in that location, not create developable lots where they do not exist.

The **Zoning Administration Section** concurs with the Critical Area Team and reminds the application that, in order for a Critical Area variance to be approved, the applicant must demonstrate and the Hearing Officer must find that the proposal complies with each and every variance standard provided under Section 18-16-305(b) and (c). Variance site plans require the height of the proposed structures to be labeled.

The Engineering Division provided a list of items that need to be addressed. (See two attached comment forms.)

INFORMATION FOR THE APPLICANT

Section 18-16-201 (b) Pre-filing meeting required. Before filing an application for a variance, special exception, or to change a zoning district, to change or remove a critical area classification, or for a variance in the critical area or bog protection area, an applicant shall meet with the Office of Planning and Zoning to review a pre-file concept plan or an administrative site plan. For single lot properties, the owner shall prepare a simple site plan as a basis for determining what can be done under the provisions of this Code to avoid the need for a variance.

*** A preliminary plan checklist is required for development impacting environmentally sensitive areas and for all new single-family dwellings. A stormwater management plan that satisfies the requirements of the County Procedures Manual is required for development impacting environmentally sensitive areas OR disturbing 5,000 square feet or more. State mandates require a developer of land provide SWM to control new development runoff from the start of the development process.

Section 18-16-301 (c) Burden of Proof. The applicant has the burden of proof, including the burden of going forward with the production of evidence and the burden of persuasion, on all questions of fact. The burden of persuasion is by a preponderance of the evidence.

A variance to the requirements of the County's Critical Area Program may only be granted if the Administrative Hearing Officer makes affirmative findings that the applicant has addressed all the requirements outlined in Article 18-16-305. Comments made on this form are intended to provide guidance and are not intended to represent support or approval of the variance request.

2024-0004-P

Menu

Cancel

Help

Task Land P Engineering

Assigned to Department Engineering Action by Department Engineering Start Time

Billable No

Due Date 01/26/2024 Assigned to Habtamu Zeleke **Action By** Habtamu Zeleke

End Time

Overtime

No

Assigned Date 01/29/2024 Status Complete w/ Comments

Status Date 01/29/2024 Hours Spent 0,0 Comments

Variance comments 2024-0004-P 128 Cresston RD

A. A soil boring is required per practice. The suitability, and siting of proposed SWM practices should be reviewed. Soil boring information including verification of the suitability of in-situ soils for infiltration shall be submitted. A Geotech investigation should be performed.

Investigation should be performed.

2. Given the disturbance to sensitive resources including the steam buffer, steep slopes, wetlands, and buffers, the proposed design adversely affects the water quality within the Critical Area. Please clarify.

3. In the site plan provided, it appears that the property will be served by public water and sewer.

4. The utility for the site will be reviewed during the grading permit.

5. Infiltration devices, including individual tot devices, shall be located a minimum of 10 feet horizontally from any public sanitary sewer or house connection.

6. The County Stormwater manual requires that infiltration devices unbill from buildings and shurtures with basements as

6. The County Stormwater manual requires that infiltration devices uphill from buildings and structures with basements shall 6. The county stortward internation requires that initiative view of the structure foundation fooling with the phreatic line from the overflow depth of the device, whichever is greater. Please clarify how this requirement is met.
7. The site to ensure that any existing downstream flooding including nuisance flooding issues will be exacerbated by the

proposed development.

The design should evaluate and implement site planning alternatives in accordance with 18-16-201.

Additional information is required to show how the site meets Environmental Site Design.

Display E-mail Address in ACA Display Comment in ACA Comment Display in ACA No

Record Creator

Licensed Professional Contact

Owner Workflow Calendar

Estimated Hours

Action Updated

Task Specific Information

Review Notes

Reviewer Email

Reviewer Name

Reviewer Phone Number

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